

## **RZC 21.10 Downtown Regulations**

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### **21.10.010 Purpose**

The purposes of the Downtown Regulations are to:

- (A) Implement the Downtown vision and policies as described in the Comprehensive Plan;
- (B) Promote the development of Downtown as an Urban Center, attracting people and businesses by providing an excellent transportation system, diverse economic opportunities, a variety of well-designed and distinctive places to live, and proximity to shopping, recreation, and other amenities;
- (C) Provide a pedestrian- and bicycle-oriented environment with “local” streets appropriate for a destination location; and
- (D) Provide a dynamic urban area that is enhanced by a rich natural setting, including open space, trees, and other landscaping, and a focus on the Sammamish River. Such a neighborhood, by its very nature, is noisier and busier than the typical suburban residential neighborhood.

### **21.10.020 Downtown Zones Map**

The Downtown neighborhood – less than one square mile in size – contains 12 zones called: Valley View, Bear Creek, Trestle, Sammamish Trail, Town Square, Old Town, Anderson Park, River Bend, River Trail, East Hill, Carter, and Town Center. These individual zones will continue to develop as distinct places within the Downtown, characterized by different building heights, designs and land uses, distinctive entrance corridors, streetscapes, roadway designs, landscaping and amenities. This variety helps draw people to and through the various zones. The districts are shown on the map entitled “Downtown Zones” below.

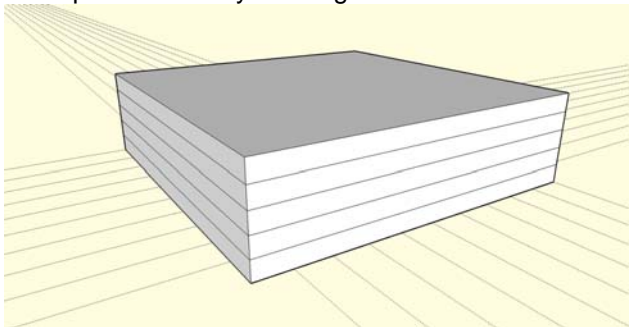
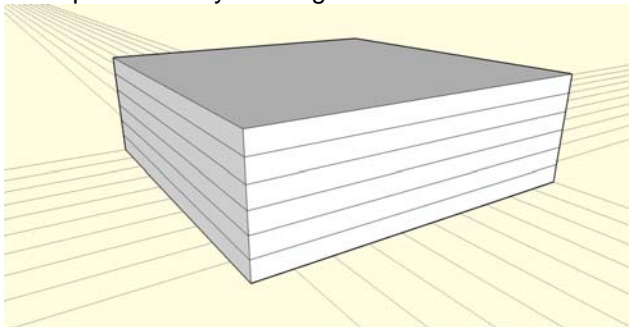
INSERT MAP 10.1

## 21.10.030 Old Town (OT) Zone

### (A) Purpose.

The Old Town district is comprised of the original downtown and includes a number of historic structures and gathering places, including a central park. The Old Town district is established to be a center of pedestrian-oriented retail activity in the Downtown neighborhood. The regulations shaping development in this district provide for an urban village pattern and rhythm which encourages narrow ground floor storefronts, small blocks, narrow streets with curbside parking, mixed-use residential/office/service buildings, and pedestrian-scale architecture. The regulations also encourage the enhancement of existing older buildings in Old Town with small ground floor retail spaces, characterized by narrow bay spacing complementary to pedestrian activity and interest, and office or residential spaces in upper stories. The pedestrian nature of the area is emphasized through lower parking requirements and plans for creation of parking lots/structures in a few central locations at the edge of these areas. This district provides for a full range of retail uses such as specialty and comparison shopping, eating and entertainment establishments, as well as general and professional services, and residential uses.

### (B) Maximum Development Yield.

Allowed	Base	Maximum	Example of a 5-story building	Example of 6-story building
Height	5 stories	6 stories		
Lot Coverage	100%	100%		

These are office building examples using Transfer Development Rights [and Green Building Program](#) to achieve the maximum achievable floor area within the maximum allowed building height. Residential and mixed-use residential developments may have similar height, but volume will differ due to setback and open space requirements.

**(C) Regulations Common to All Uses.**

<b>Regulation</b>	<b>Standard</b>	<b>Notes and Exceptions</b>
<b>Front Setback (distance from back of curb)</b>		
Front and side street (commercial use)	See Map 10.3 Downtown Pedestrian System Map	Setbacks along Downtown Streets are regulated by the Downtown Pedestrian System which specifies street frontage standards between the street curb and the face of buildings, depending on site location.
Front and side street (residential use on ground floor)		Not permitted on ground floor street fronts of Type I pedestrian streets (Map 10.3, Downtown Pedestrian System Map).
<b>Setback line (distance from property line)</b>		
Side commercial	0 feet	
Rear commercial	0 feet	
Side (residential)	See RZC 21.10.130(D) Residential Setback Requirements	
Rear (residential)	10 feet	
Yard adjoining BNSF ROW or Parks	14 feet	
Yard adjoining Mid-Block Path	See Map 10.3 Downtown Pedestrian System Map	
<b>Other Standards</b>		
Minimum Building Height	n/a	
Maximum Building Height w/o TDRs	5 Stories	1. Building height is limited to three stories for some parcels fronting Leary Way. See RZC 21.10.110(B) Height Limit Overlay.
Maximum Building Height w/ TDRs <a href="#">and GBP</a>	6 Stories	1. Building height is limited to three stories for some parcels fronting Leary Way. See RZC 21.10.110(B) Height Limit Overlay. 2. One floor of additional height may be achieved with the use of Transfer Development rights <a href="#">(See RZC 21.10.160, Using Transfer Development Rights) or through compliance with the Green Building Program (See RZC 21.67, Green Building Infrastructure Program)</a> .
Maximum Lot Coverage	100%	1. For residential development without ground floor commercial/office, lot coverage shall be governed by the Residential Density Chart, RZC 20.10.130(D).
Base FAR Without TDRs	1.25	Maximum FAR without TDRs <a href="#">or the GBP</a> , for non-residential space, is 1.25. Residential space within a mixed-use building is exempt from TDR <a href="#">or GBP</a> requirements. <a href="#">(See RZC 21.10.160, Using Transfer Development Rights) or through compliance with the Green Building Program (See RZC 21.67, Green Building Infrastructure Program)</a> 2. All legal lots are entitled to 10,000 square feet GFA without the use of TDRs <a href="#">or GBP</a> provided that other site

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		requirements can be met.
Allowed Residential Density	Depends on Lot Size	See RZC 21.10.130(B), Downtown Residential Density Chart.

**(D) Allowed Uses and Basic Development Standards.**

The following table contains the basic zoning regulations that apply to uses. To use the chart, read down the left-hand column titled “Use.” When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require land use permit approval. See RZC 21.76.020, Overview of the Development Process, for more information. Uses not listed are not permitted.

Section	Use	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
<b>Residential</b>			
1	Multi-Family Structure, Mixed-Use Residential	Dwelling Unit (1.0, 2.25) Plus one guest space per four units for projects with six units or more. Curbside parking along the site may be counted towards up to 25 percent of the required off-street parking.	<ol style="list-style-type: none"> <li>1. Maximum density per lot dependent upon size and width of lot, per RZC 21.10.130(B), Downtown Residential Densities Chart.</li> <li>2. Not permitted on ground floor street fronts of Type I pedestrian streets (Map 10.3, Downtown Pedestrian System Map), or where ground floor residences may be negatively impacted by nearby nonresidential uses. Residential uses may be allowed on ground floor streets fronts of Type II Pedestrian Streets, per RZC 21.62.020(F)(5), Ground Floor Residential Uses on Type II Pedestrian Streets, but not within the shorter distance of 100 feet or one-quarter block length from a street intersection.</li> <li>3. Affordable Housing requirements apply to developments of 10 units or more. See RZC 21.20.020.</li> </ol>
2	Dormitory	Bed (0.5, 1.0)	
3	SRO		
4	Housing Services for the Elderly	See Special Regulations	<p>Parking requirements are as follows:</p> <ol style="list-style-type: none"> <li>1. Multifamily housing for senior citizens: Unit (0.5, 2.0)</li> <li>2. Nursing home or long-term care facility: 4 patient beds (1.0, 1.0)</li> <li>3. Retirement residence with no skilled nursing facility: Unit (1.0, 1.0)</li> <li>4. Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25)</li> <li>5. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</li> </ol>

General Sales or Service			
5	General Sales or Services	1,000 sq ft gfa (2.0, 2.0)	<ol style="list-style-type: none"> <li>1. Uses not permitted include:               <ol style="list-style-type: none"> <li>a. Gasoline service.</li> <li>b. Auto repair.</li> <li>c. Automobile sales with outdoor display and storage.</li> <li>d. Rental storage and mini-warehouses.</li> <li>e. Retail sales or services involving drive-through/drive-up facilities, except drive-through facilities confined within the garage of a multi-story (at least three stories) building shall be allowed when the drive-through lanes provide a queuing length adequate to serve peak demand without overflowing onto public sidewalks or streets, as determined by a professional traffic engineer and approved by the City.</li> <li>f. Uses that are materially detrimental to typical downtown office and residential uses in terms of excessive noise and vibration, truck traffic, fumes, and other potential impacts.</li> </ol> </li> <li>2. Parking standards for restaurant uses:               <ol style="list-style-type: none"> <li>a. Sit-down restaurant: 1,000 SF GFA (2.0, 9.0).</li> <li>b. Take-out restaurant: 1,000 SF GFA (2.0, 10.0).</li> <li>c. The Technical Committee may waive the parking requirement for restaurant/deli/café uses 1,000 square feet gfa, or less in area that support/enhance the City's vision for creating/enhancing Downtown as a pedestrian place provided:                   <ol style="list-style-type: none"> <li>i. The use is located in an office building and primarily serves the occupants and guests of the office building; or</li> <li>ii. The use is visible from, and within 100 feet of a promenade or Downtown park, such as Luke McRedmond Park, Anderson Park, O'Leary Park, The Edge Skate Park or the 83<sup>rd</sup> Street Promenade, for example, or within 100 feet of a critical areas buffer of the Sammamish River and access to the River Trail, and the use is designed to enliven the pedestrian environment and primarily cater to pedestrians and outdoor patrons.</li> </ol> </li> </ol> </li> <li>3. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.</li> </ol>
6	Hotels, Motels, and Other Accommodation Services	Rental room (1.0, 1.0)	
Transportation, Communication, Information, and Utilities			
7	Road, Ground Passenger and Transit Transportation	1,000 sq ft gfa (2.0, 2.0)	1. Regional light rail transit system and office uses only. No vehicle storage except light rail vehicles.
8	Rapid charging station	Adequate to accommodate peak use	1. Shall not be located on a parcel that abuts a residential zone.
9	Battery exchange station		
10	Communications and Information	1,000 sq ft gfa (2.0, 2.0)	
11	Local Utilities		

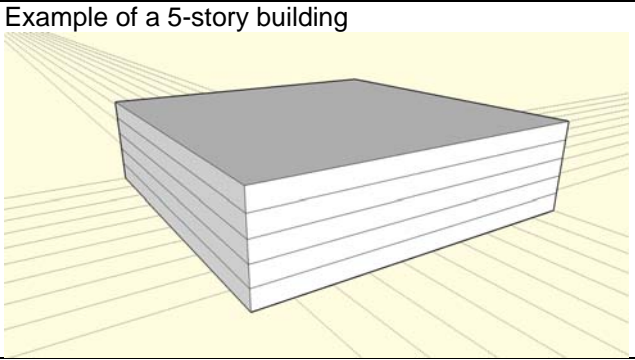
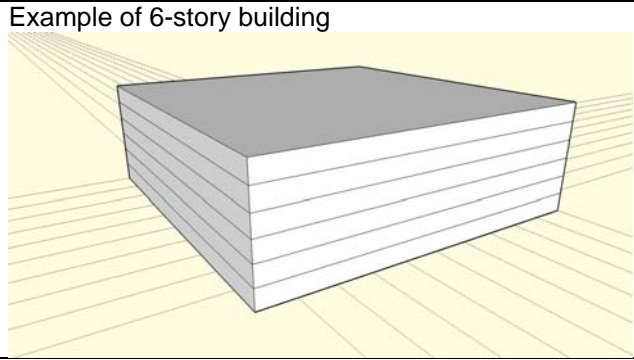
12	Large Satellite Dishes/Amateur Radio Antenna(s)	Adequate to accommodate peak use	See RZC 21.56 Wireless Communications Facilities
13	Wireless Communication Facilities		
14	Broadcast and Relay Towers		1. Requires a conditional use permit. See RZC 21.76.070(K) Conditional Use Permit.
<b>Arts, Entertainment, and Recreation</b>			
15	Arts, Entertainment, and Recreation	Adequate to accommodate peak use	
<b>Education, Public Administration, Health Care, and Other Institutions</b>			
16	Education, Public Administration, Health Care, and other Institutions, except those listed below		<u>1.</u> Parking: The number of spaces must be adequate to accommodate the peak customer and employee shift, demonstrated by a parking study or other study submitted by the applicant and approved by the Code Administrator.
17	Day Care Center	See Special Regulations	1. Provisions for day care centers include: a. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0). b. Play equipment shall be located no less than 10 feet from any property line. <u>c.</u> Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Code Administrator after considering the probable number of employees, etc.
18	Religious Institutions	1,000 sq ft gfa (10.0, 10.0) or 1/5 fixed seats	1. A seat is one fixed seat or 18 inches on a pew or bench or seven square feet in the general assembly area (including aisle space, but excluding stage, podium, lobby, and space for musical instruments). <u>2.</u> A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.
19	Funeral Homes and Services		<u>1.</u> Excludes crematoriums.
<b>Other</b>			
20	Vending Carts, Kiosks		1. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access. 2. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act. 3. Structures shall be secured to prevent tipping and endangering public safety. 4. Maximum size is six feet wide by ten feet long. 5. Administrative design review required for structures.
21	Automobile Parking Facilities		1. Surface parking lots are prohibited.

## 21.10.040 Anderson Park (AP) Zone

### (A) Purpose.

The Anderson Park (AP) zone is one of four distinct mixed-use residential/office zones in the Downtown Neighborhood.; Sammamish Trail (SMT), Town Square (TSQ), Anderson Park (AP), and River Bend (RVBD). All four zones are intended to provide for significant residential growth, as well as opportunities for growth in professional, business, health, and personal services. These zones provide for a range of employment uses, such as financial and professional services, public administrative offices, health services, advanced technology industries, universities and technical colleges, and other activities normally conducted in multi-story office structures. These zones are intended as areas for the densest employment and residential uses in the Downtown, but also provide for supporting retail, service, and entertainment uses located within walking distance of each other. Some of the quieter streets in these districts allow residential uses on the ground floor, whereas the primary streets are intended for active, pedestrian-friendly and activating commercial uses. The Anderson Park zone encourages development of a mix of multi-story residential and office buildings and allows limited retail space in order to provide convenient access without diluting the more concentrated retail cores of the Old Town and Town Center zones. The Anderson Park zone also enhances the long-term pedestrian character of Redmond Way and Cleveland Street by including street-level building and landscape design.

### (B) Maximum Development Yield.

Allowed	Base	Maximum	Example of a 5-story building	Example of 6-story building
Height	5 stories	6 stories		
Lot Coverage	100 percent	100 percent		
<p>These are office building examples using Transfer Development Rights <a href="#">or Green Building Program</a> to achieve the maximum achievable floor area within the maximum allowed building height. Residential and mixed-use residential developments may achieve similar results.</p>				



**(C) Regulations Common to All Uses.**

<b>Regulation</b>	<b>Standard</b>	<b>Notes and Exceptions</b>
<b>Front Setback (distance from back of curb)</b>		
Front and side street (commercial use)	See Map 10.3 Downtown Pedestrian System Map	Setbacks along Downtown Streets are regulated by the Downtown Pedestrian System which specifies street frontage standards between the street curb and the face of buildings, depending on site location.
Front and side street (residential use on ground floor)	See RZC 21.10.130(D) Residential Setback Requirements	Not permitted on ground floor street fronts of Type I pedestrian streets (Downtown Pedestrian System Map). Residential uses may be allowed on ground floor streets fronts of Type II Pedestrian Streets per 21.62.020(F)(5), Ground Floor Residential Uses on Type II Pedestrian Streets, but not within the shorter distance of 100 feet or one-quarter block length from a street intersection.
<b>Setback line (distance from property line)</b>		
Side commercial	0 feet	
Rear commercial	0 feet	
Side (residential)	See RZC 21.10.130(D) Residential Setback Requirements	
Rear (residential)	10 feet	
Yard adjoining BNSF ROW or Parks	14 feet	
Yard adjoining Mid-Block Path	See Map 10.3 Downtown Pedestrian System Map	
<b>Other Standards</b>		
Minimum Building Height	n/a	
Maximum Building Height w/o TDRs <a href="#">or GBP</a>	5 Stories	
Maximum Building Height w/ TDRs <a href="#">or GBP</a>	6 Stories	1. One floor of additional height may be achieved with the use of Transfer Development rights <a href="#">(See RZC 21.10.160, Using Transfer Development Rights) or Green Building Program (See RZC 21.67, Green Building Infrastructure Program).</a>
Maximum Lot Coverage	100 percent	1. For residential development without ground floor commercial/office, lot coverage shall be governed by RZC 21.10.130(B), Residential Density Chart.
Base FAR Without TDRs	1.25	1. Maximum FAR without TDRs, for nonresidential space, is 1.25. Residential space within a mixed-use building is exempt from TDR <a href="#">or Green Building requirements. (See RZC 21.10.160, Using Transfer Development Rights or RZC 21.67, Green Building Infrastructure Program).</a> 2. All legal lots are entitled to 10,000 square feet GFA without the use of TDRs <a href="#">or GBP</a> provided that other site requirements can be met.

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Allowed Residential Density	Depends on Lot Size	See RZC 21.10.170, Downtown Residential Density Chart.
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**(D) Allowed Uses and Basic Development Standards.**

The following table contains the basic zoning regulations that apply to uses. To use the chart, read down the left-hand column titled “Use.” When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require land use permit approval. See RZC 21.76.020, Overview of the Development Process, for more information. Uses not listed are not permitted.

Section	Use	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
<b>Residential</b>			
1	Multifamily Structure, Mixed-Use Residential	Dwelling Unit (1.0, 2.25) Plus one guest space per four units for projects with six units or more. Curbside parking along the site may be counted towards up to 25 percent of the required off-street parking.	<ol style="list-style-type: none"> <li>1. Maximum density per lot dependent upon size and width of lot, per RZC 21.10.130(B), Downtown Residential Densities Chart.</li> <li>2. Not permitted on ground floor street fronts of Type I pedestrian streets (see Map 10.3, Downtown Pedestrian System Map), or where ground floor residences may be negatively impacted by nearby nonresidential uses, except through establishment of an Administrative Design Flexibility per RZC 21.76.070(C). Residential uses may be allowed on ground floor streets fronts of Type II Pedestrian Streets per RZC 21.62.020(F)(5), Ground Floor Residential Uses on Type II Pedestrian Streets, but not within the shorter distance of 100 feet or one-quarter block length from a street intersection.</li> <li>3. Affordable Housing requirements apply to developments of 10 units or more. See RZC 21.20.020.</li> </ol>
2	Dormitory	Bed (0.5, 1.0)	
3	SRO		

Section	Use	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
4	Housing Services for the Elderly	See Special Regulations	<p>Parking requirements are as follows:</p> <ol style="list-style-type: none"> <li>1. Multifamily housing for senior citizens: Unit (0.5, 2.0).</li> <li>2. Nursing home or long-term care facility: 4 patient beds (1.0, 1.0).</li> <li>3. Retirement residence with no skilled nursing facility: Unit (1.0, 1.0).</li> <li>4. Retirement residence with skilled nursing facility. Worker on largest shift (1.25, 1.25)</li> <li>5. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</li> </ol>

General Sales or Service			
5	General Sales and Services	1,000 sq ft gfa (2.0, 3.5)	<ol style="list-style-type: none"> <li>1. Uses not permitted include:               <ol style="list-style-type: none"> <li>a. Gasoline service.</li> <li>b. Auto repair.</li> <li>c. Automobile sales with outdoor display and storage.</li> <li>d. Rental storage and mini-warehouses.</li> <li>e. Retail sales or services involving drive-through/drive-up facilities, except drive through facilities confined within the garage of a multi-story (at least three stories) building shall be allowed when the drive-through lanes provide a queuing length adequate to serve peak demand without overflowing onto public sidewalks or streets, as determined by a professional traffic engineer and approved by the City.</li> </ol> </li> <li>2. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments.</li> <li>3. Parking standards for restaurant uses:               <ol style="list-style-type: none"> <li>a. Sit-down restaurant: 1,000 SF GFA (9.0, 9.0).</li> <li>b. Take-out restaurant: 1,000 SF GFA (10.0, 10.0).</li> <li>d. 1,000 sq ft gfa (5.0, 5.0) when the restaurant is located in a multi-story building at least 3 stories tall.</li> <li>e. The Technical Committee may waive the parking requirement for restaurant/deli/café uses less than 750 square feet gfa that support/enhance the City's vision for creating/enhancing Downtown as a pedestrian place provided :                   <ol style="list-style-type: none"> <li>i. The use is located in an office building and primarily serves the occupants and guests of the office building; or</li> <li>ii. The use is visible from, and within 100 feet of a promenade or Downtown park, such as Luke McRedmond Park, Anderson Park, O'Leary Park, The Edge Skate Park or the 83<sup>rd</sup> Street Promenade, for example, or within 100 feet of a critical areas buffer of the Sammamish River and access to the River Trail, and the use is designed to enliven the pedestrian environment and primarily cater to pedestrians and outdoor patrons.</li> </ol> </li> </ol> </li> <li>4. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.</li> </ol>
6	Hotels, Motels, and Other Accommodation Services	Rental room (1.0, 1.0)	
Transportation, Communication, Information, and Utilities			
7	Road, Ground Passenger and Transit Transportation	1,000 sq ft gfa (2.0, 3.5)	1. Regional light rail transit system and office uses only. No vehicle storage.
8	Rapid charging station	Adequate to accommodate peak use	1. Shall not be located on a parcel that abuts a residential zone.
9	Battery exchange station		

10	Communications and Information	1,000 sq ft gfa (2.0, 3.5)	
11	Local Utilities		
12	Large Satellite Dishes/Amateur Radio Antenna(s)	Adequate to accommodate peak use	See RZC 21.56 Wireless Communications Facilities.
13	Wireless Communication Facilities		
14	Broadcast and Relay Towers		1. Requires a conditional use permit. See RZC 21.76.070(K) Conditional Use Permit.
<b>Arts, Entertainment, and Recreation</b>			
15	Arts, Entertainment, and Recreation	Adequate to accommodate peak use	
<b>Education, Public Administration, Health Care, and other Institutions</b>			
16	Education, Public Administration, Health Care, and other Institutions, except those listed below	See Special Regulations	1. Parking: The number of spaces must be adequate to accommodate the peak customer and employee shift, demonstrated by a parking study or other study submitted by the applicant and approved by the Code Administrator.
17	Day Care Center		1. Provisions for day care centers include: a. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0) b. Play equipment shall be located no less than 10 feet from any property line c. Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Code Administrator after considering the probable number of employees, etc.
18	Religious Institutions	1,000 sq ft gfa (10.0, 10.0) or 1/5 fixed seats	1. A seat is one fixed seat or 18 inches on a pew or bench or seven square feet in the general assembly area, including aisle space, but excluding stage, podium, lobby, and space for musical instruments. 2. A traffic mitigation plan is required. The plan shall address traffic control, parking management, including mitigation of overflow parking into adjoining residential areas, and traffic movement to the arterial street system.
19	Funeral Homes and Services		1. Excludes crematoriums.
<b>Other</b>			

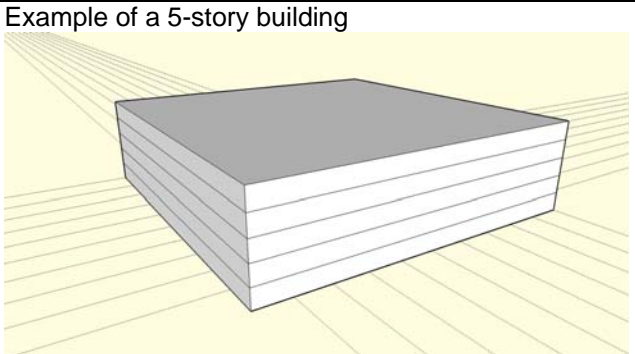
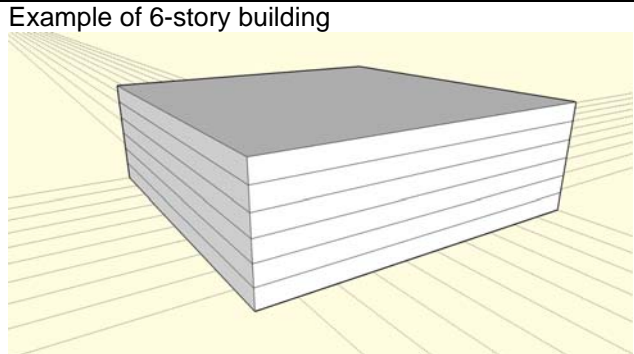
20	Vending Carts, Kiosks		<ol style="list-style-type: none"> <li>1. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.</li> <li>2. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act.</li> <li>3. Structures shall be secured to prevent tipping and endangering public safety.</li> <li>4. Maximum size is six feet wide by ten feet long.</li> <li>5. Administrative design review required for structures.</li> </ol>
21	Automobile Parking Facilities		<ol style="list-style-type: none"> <li>1. Surface parking lots are prohibited.</li> </ol>

## 21.10.050 Town Center (TWNC) Zone

### (A) Purpose.

Town Center is one of the City's primary gathering places. Its mix of shops and restaurants, offices, hotel rooms and conference facilities, and eventually residences in the heart of the City is intended to bring people together during the day and evening for planned or casual meetings. The design of the buildings, street patterns, and public plazas are modern yet reflect the historic district in adjacent Old Town. Improvements in walking connections between the two districts will help both areas thrive. The long-term vision for Town Center is that it will continue to develop as a major gathering and entertainment place within the community, that its trails will be connected to Marymoor Park by a grade-separated connection across SR 520, and that transit service to and from the center will provide a choice equal in attractiveness to automobiles, walking, and biking. The design and development of this zone is controlled by a Master Plan established to ensure that development here integrates with and positively influences future redevelopment of the greater downtown area, and retains traditional building styles, street patterns, variety of uses, and public amenities.

### (B) Maximum Development Yield.

Allowed	Base	Maximum	Example of a 5-story building	Example of 6-story building
Height	5 stories	6 stories		
Lot Coverage	100 percent	100 percent		

These are office building examples using Transfer Development Rights [or Green Building Program](#) to achieve the maximum achievable floor area within the maximum allowed building height. Residential and mixed-use residential developments may achieve similar results. Residential and mixed-use residential developments may have similar height, but volume will differ due to setback and open space requirements.

**(C) Regulations Common to All Uses.**

<b>Regulation</b>	<b>Standard</b>	<b>Notes and Exceptions</b>
<b>Front Setback (distance from back of curb)</b>		
Front and side street (commercial use)	See RZC 21.10.150. Map 10.4. Town Center Pedestrian System Map	1. Setbacks along Downtown Streets are regulated by the Downtown Pedestrian System which specifies street frontage standards between the street curb and the face of buildings, depending on site location. 2. All new development shall comply with the adopted Town Center Master Plan and Design Guidelines.
<b>Setback line (distance from property line)</b>		
Side commercial	0 feet	1. All new development shall comply with the adopted Town Center Master Plan and Design Guidelines.
Rear commercial	0 feet	1. All new development shall comply with the adopted Town Center Master Plan and Design Guidelines.
Side (residential)	See RZC 21.10.130(D) Residential Setback Requirements	1. All new development shall comply with the adopted Town Center Master Plan and Design Guidelines.
Rear (residential)	10 feet	1. All new development shall comply with the adopted Town Center Master Plan and Design Guidelines.
Yard adjoining BNSF ROW or Parks	14 feet	
<b>Other Standards</b>		
Minimum Building Height	n/a	
Maximum Building Height w/o TDRs <a href="#">or GBP</a>	Varies	1. Mixed-Use area: four stories; hotel – six or eight stories with meeting, conference and banquet facilities. Office Park area: five stories. Bear Creek Retail Area: three stories. Mixed-use residential or residential use in Town Center: five stories outright. The Technical Committee shall administratively allow the height in the Mixed-Use overlay area to be increased to six stories if the building facade is recessed above the second floor and building modulation is provided to mitigate the bulk and mass from the additional height allowance.
Maximum Building Height w/ TDRs <a href="#">or GBP</a>	Varies	1. One floor of additional height may be achieved with the use of Transfer Development rights (See RZC 21.10.160, Using Transfer Development Rights) <a href="#">or through compliance with the Green Building Program (See RZC 21.67, Green Building Infrastructure Program)</a> except they may not be used to exceed eight stories where eight stories is allowed through bonus provisions.
Maximum Height Within Shorelines (SMP)	35 feet	1. This height limit is restricted to that portion of the building physically located within the shoreline jurisdiction. (SMP)



		2. The maximum height of structures, including bridges, that support a regional light rail transit system may be higher than 35 feet, but shall be no higher than is reasonably necessary to address the engineering, operational, environmental and regulatory issues at the location of the structure. (SMP)
Maximum Lot Coverage	Varies	1. Governed by the Downtown Element of the Comprehensive Plan and the Town Center Master Plan and Design Guidelines.
Base FAR Without TDRs	Varies	1. The maximum gross leasable area of allowed commercial space without TDRs is 1.49 million square feet. The 1.49 million square feet limit may be increased to a maximum of 1.80 million square feet through the acquisition and use of TDRs <a href="#">or the GBP</a> provided that TDRs <a href="#">or the GBP</a> may not be used to increase the height of the full service hotel/conference center above eight stories/100 feet, and that a minimum of 140,000 square feet be reserved for a full service hotel/conference center with banquet and meeting facilities to accommodate groups of at least 300 people. The additional square footage allowed may be used for infill retail and general service uses that are part of mixed-use residential developments or infill developments. Floor area for residential uses is exempt from TDR requirements and maximum commercial floor area limitations.
Allowed Residential Density	Depends on Lot Size	See RZC 21.10.130(B), Downtown Residential Density Chart.

**(D) Allowed Uses and Basic Development Standards.**

The following table contains the basic zoning regulations that apply to uses. To use the chart, read down the left-hand column titled “Use.” When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require land use permit approval. See RZC 21.76.020, Overview of the Development Process, for more information. Uses not listed are not permitted.

Section	Use	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
<b>Residential</b>			
1	Multifamily Structure, Mixed-Use Residential	Dwelling Unit (1.0, 2.25) Plus one guest space per four units for projects with six units or more. Curbside parking along the site may be counted towards up to 25 percent of the required off-street parking.	<ol style="list-style-type: none"> <li>1. Maximum density per lot dependent upon size and width of lot, per RZC 21.10.130(B), Downtown Residential Densities Chart.</li> <li>2. Affordable Housing requirements apply to developments of 10 units or more. See RZC 21.20.020.</li> </ol>
2	Dormitory	Bed (0.5, 1.0)	
3	SRO		
4	Housing Services for the Elderly	See Special Regulations.	<p>Parking requirements are as follows:</p> <ol style="list-style-type: none"> <li>1. Multifamily housing for senior citizens: Unit (0.5, 2.0).</li> <li>2. Nursing home or long-term care facility: 4 patient beds (1.0, 1.0).</li> <li>3. Retirement residence with no skilled nursing facility: Unit (1.0, 1.0).</li> <li>4. Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25).</li> <li>5. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</li> </ol>

Section	Use	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
<b>General Sales or Service</b>			
5	General Sales or Services	1,000 sq ft gfa (3.5, 5.0)	<ol style="list-style-type: none"> <li>1. Uses not permitted include: <ol style="list-style-type: none"> <li>a. Gasoline service.</li> <li>b. Automobile sales with outdoor display and storage.</li> <li>c. Rental storage and mini-warehouses.</li> <li>d. Retail sales or services involving drive-through/drive-up facilities, except drive-through facilities confined within the garage of a multi-story (at least three stories) building shall be allowed when the drive-through lanes provide a queuing length adequate to serve peak demand without overflowing onto public sidewalks or streets, as determined by a professional traffic engineer and approved by the City.</li> </ol> </li> <li>2. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments.</li> <li>3. Auto repair without outdoor storage and outdoor service is allowed provided: <ol style="list-style-type: none"> <li>a. All service/repair work is performed indoors.</li> <li>b. There is no overnight storage of customer vehicles in outdoor parking areas.</li> </ol> </li> <li>4. Parking standards for restaurant uses: <ol style="list-style-type: none"> <li>a. Sit-down restaurant: 1,000 SF GFA (9.0, 9.0).</li> <li>b. Take-out restaurant: 1,000 SF GFA (10.0, 10.0).</li> <li>c. The Technical Committee may waive the parking requirement for restaurant/deli/café uses less than 750 square feet gfa that support/enhance the City's vision for creating /enhancing Downtown as a pedestrian place provided : <ol style="list-style-type: none"> <li>i. The use is located in an office building and primarily serves the occupants and guests of the office building; or</li> <li>ii. The use is visible from, and within 100 feet of a promenade or Downtown park, such as Luke McRedmond Park, Anderson Park, O'Leary Park, The Edge Skate Park or the 83<sup>rd</sup> Street Promenade, for example, or within 100 feet of a critical areas buffer of the Sammamish River and access to the River Trail, and the use is designed to enliven the pedestrian environment and primarily cater to pedestrians and outdoor patrons.</li> </ol> </li> </ol> </li> </ol>
6	Hotels, Motels, and Other Accommodation Services	Rental room (1.0, 1.0)	
<b>Transportation, Communication, Information, and Utilities</b>			

Section	Use	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
7	Road, Ground Passenger and Transit Transportation	1,000 sq ft gfa (3.5, 5.0)	1. Regional light rail transit system and office uses only. No vehicle storage.
8	Rapid charging station	Adequate to accommodate peak use	1. Shall not be located on a parcel that abuts a residential zone.
9	Battery exchange station		
10	Communications and Information	1,000 sq ft gfa (3.5, 5.0)	
	Local Utilities		
11	Large Satellite Dishes/Amateur Radio Antenna(s)	Adequate to accommodate peak use	See RZC 21.56 Wireless Communications Facilities.
12	Wireless Communication Facilities		1. Requires a conditional use permit. See RZC 21.76.070(K) Conditional Use Permit.
13	Broadcast and Relay Towers		
<b>Arts, Entertainment, and Recreation</b>			
14	Arts, Entertainment, and Recreation	Adequate to accommodate peak use	
<b>Education, Public Administration, Health Care, and other Institutions</b>			
15	Education, Public Administration, Health Care, and other Institutions, except those listed below	See Special Regulations	1. Parking: The number of spaces must be adequate to accommodate the peak customer and employee shift, demonstrated by a parking study or other study submitted by the applicant and approved by the Code Administrator.
16	Day Care Center		1. Provisions for day care centers include: <ul style="list-style-type: none"> <li>a. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0).</li> <li>b. Play equipment shall be located no less than 10 feet from any property line.</li> <li>c. Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Code Administrator after considering the probable number of employees, etc.</li> </ul>
17	Religious Institutions	1,000 sq ft gfa (10.0, 10.0) or 1/5 fixed seats	1. A seat is one fixed seat or 18 inches on a pew or bench or seven square feet in the general assembly area (including aisle space, but excluding stage, podium, lobby, and space for musical instruments). 2. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.

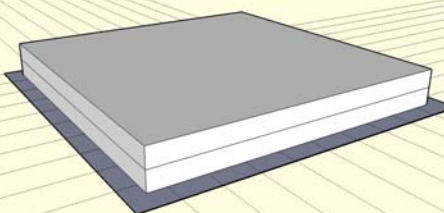
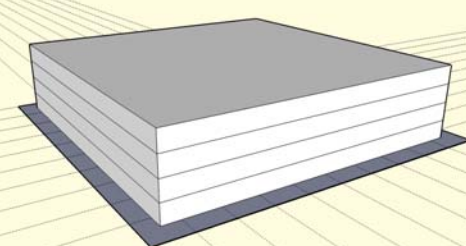
Section	Use	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
<b>Other</b>			
18	Funeral Homes and Services	1,000 sq ft gfa (10.0, 10.0) or 1/5 fixed seats	1. Excludes crematoriums.
19	Vending Carts, Kiosks		<ol style="list-style-type: none"> <li>1. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.</li> <li>2. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act.</li> <li>3. Structures shall be secured to prevent tipping and endangering public safety.</li> <li>4. Maximum size is six feet wide by ten feet long.</li> <li>5. Administrative design review required for structures.</li> </ol>
20	Automobile Parking Facilities		1. Surface parking lots are prohibited.

## 21.10.060 Bear Creek, Valley View, and Trestle Zones

### (A) Purpose.

The convenience commercial areas of Downtown include the Valley View, Trestle, and Bear Creek zones. These three zones are located at the major entrances to the Downtown to serve shoppers conveniently from both within and outside the neighborhood. These zones are intended to provide for everyday, basic shopping needs and services, such as groceries, pharmacies, and other convenience retail goods and services that are easily accessed by pedestrians, bicyclists, and motor vehicles. Land uses and redevelopment in the area should be compatible with shopping and service needs of the community and surroundings, as well as with the long-term Downtown vision of encouraging a more pedestrian-supportive, mixed-use environment in these zones.

### (B) Maximum Development Yield.

Allowed	Base	Maximum	Example of a 2-story building	Example of 4 -story building
Height	2 stories	4 stories		
Lot Coverage	80 percent	80 percent		
<p>These are office building examples using Transfer Development Rights <a href="#">or GBP</a> to achieve the maximum achievable floor area within the maximum allowed building height. Residential and mixed-use residential developments may have similar height, but volume will differ due to setback and open space requirements.</p>				

**(C) Regulations Common to All Uses.**

<b>Regulation</b>	<b>Standard</b>	<b>Notes and Exceptions</b>
<b>Front Setback (distance from back of curb)</b>		
Front and side street (commercial use)	See Map 10.3 Downtown Pedestrian System Map.	Setbacks along Downtown Streets are regulated by the Downtown Pedestrian System which specifies street frontage standards between the street curb and the face of buildings, depending on site location.
Front and side street (residential use on ground floor)	See Map 10.3 Downtown Pedestrian System Map.	Not permitted on ground floor street fronts of Type I pedestrian streets (Downtown Pedestrian System Map). Residential uses may be allowed on ground floor streets fronts of Type II Pedestrian Streets per 21.62.020(F)(5), Ground Floor Residential Uses on Type II Pedestrian Streets, but not within the shorter distance of 100 feet or one-quarter block length from a street intersection.
<b>Setback line (distance from property line)</b>		
Side commercial	0 feet	
Rear commercial	0 feet	
Side (residential)	See RZC 21.10.130(D) Residential Setback Requirements	
Rear (residential)	10 feet	
Yard adjoining BNSF ROW or Parks	14 feet	
Yard adjoining Mid-Block Path	See Map 10.3 Downtown Pedestrian System Map.	
<b>Other Standards</b>		
Minimum Building Height	n/a	
Maximum Building Height w/o TDRs <a href="#">or GBP</a>	2 Stories	1. The maximum height may be increased to four stories when the site's development plan can demonstrate the goals and objectives outlined in Comprehensive Plan Policy DT-49, and the design guidelines outlined in RZC 21.62.020(c) are met through the site plan entitlement process.
Maximum Building Height w/ TDRs <a href="#">or GBP</a>	3 Stories	1. One floor of additional height may be achieved with the use of Transfer Development rights <a href="#">(See RZC 21.10.160, Using Transfer Development Rights)</a> or through compliance with the Green Building Program <a href="#">(See RZC 21.67, Green Building Infrastructure Program)</a> .
Maximum Height Within Shorelines (SMP)	35 feet	1. This height limit is restricted to that portion of the building physically located within the shoreline jurisdiction. (SMP) 2. The maximum height of structures, including bridges, that support a

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		regional light rail transit system may be higher than 35 feet but shall be no higher than is reasonably necessary to address the engineering, operational, environmental and regulatory issues at the location of the structure. (SMP)
Maximum Lot Coverage	80 percent	<ol style="list-style-type: none"> <li>1. For residential development without ground floor commercial/office, lot coverage shall be governed by the Residential Density Chart.</li> <li>2. Lot coverage percentage equals: The total site area measured to the property line, less pedestrian systems measured to the curb line, on-site sidewalks, landscaping, and plazas, divided by the site area measured to the curb line.</li> </ol>
Base FAR Without TDRs	1.25	<ol style="list-style-type: none"> <li>1. Maximum FAR without TDRs <u>or GBP</u>, for nonresidential space, is 1.25. Residential space within a mixed-use building is exempt from TDR <u>or GBP</u> requirements. See <a href="#">RZC 21.10.160</a> Using Transfer Development rights <u>and RZC 21.67, Green Building Infrastructure Program</u></li> <li>2. All legal lots are entitled to 10,000 square feet GFA without the use of TDRs <u>or GBP</u> provided that other site requirements can be met.</li> </ol>
Allowed Residential Density	Depends on Lot Size	See RZC 21.10.130(B), Downtown Residential Density Chart.



**(D) Allowed Uses and Basic Development Standards.**

The following table contains the basic zoning regulations that apply to uses. To use the chart, read down the left-hand column titled “Use.” When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require land use permit approval. See RZC 21.76.020, Overview of the Development Process for more information. Uses not listed are not permitted.

Section	Use	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
<b>Residential</b>			
1	Multifamily Structure, Mixed-Use Residential	Dwelling Unit (1.0, 2.25) Plus one guest space per four units for projects with six units or more. Curbside parking along the site may be counted towards up to 25 percent of the required off-street parking.	<ol style="list-style-type: none"> <li>1. Maximum density per lot dependent upon size and width of lot, per RZC 21.10.130(B), Downtown Residential Densities Chart. Not permitted on ground floor street fronts of Type I pedestrian streets (see Map 10.3, Downtown Pedestrian System Map), or where ground floor residences may be negatively impacted by nearby nonresidential uses, except through establishment of an Administrative Design Flexibility per RZC 21.76.070(C). Residential uses may be allowed on ground floor streets fronts of Type II Pedestrian Streets per RZC 21.62.020(F)(5),, Ground Floor Residential Uses on Type II Pedestrian Streets, but not within the shorter distance of 100 feet or one-quarter block-length from a street intersection.</li> <li>2. Affordable Housing requirements apply to developments of 10 units or more. See RZC 21.20.020.</li> </ol>
2	Dormitory	Bed (0.5, 1.0)	
3	SRO		

Section	Use	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
4	Housing Services for the Elderly	See Special Regulations	Parking requirements are as follows: <ol style="list-style-type: none"> <li>1. Multifamily housing for senior citizens: Unit (0.5, 2.0).</li> <li>2. Nursing home or long-term care facility: 4 patient beds (1.0, 1.0).</li> <li>3. Retirement residence with no skilled nursing facility: Unit (1.0, 1.0).</li> <li>4. Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25).</li> <li>5. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</li> </ol>

General Sales or Service			
5	General Sales or Service	1,000 sq ft gfa (3.5, 5.5)	<ol style="list-style-type: none"> <li>1. Uses not permitted include:               <ol style="list-style-type: none"> <li>a. Automobile sales with outdoor display and storage.</li> <li>b. Major Auto Repair.</li> <li>c. Rental storage and mini-warehouses.</li> </ol> </li> <li>2. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments.</li> <li>3. Auto repair without outdoor storage and outdoor service is allowed provided:               <ol style="list-style-type: none"> <li>a. All service/repair work is performed indoors.</li> <li>b. There is no overnight storage of customer vehicles in outdoor parking areas.</li> </ol> </li> <li>4. Parking standards for restaurant uses:               <ol style="list-style-type: none"> <li>a. Sit-down restaurant: 1,000 SF GFA (9.0, 9.0).</li> <li>b. Take-out restaurant: 1,000 SF GFA (10.0, 10.0).</li> <li>c. 1,000 sq ft gfa (5.0, 5.0) when the restaurant is located in a multi-story building at least 3 stories tall.</li> <li>d. The Technical Committee may waive the parking requirement for restaurant/deli/café uses less than 750 square feet gfa that support/enhance the City's vision for creating/enhancing Downtown as a pedestrian place provided :                   <ol style="list-style-type: none"> <li>i. The use is located in an office building and primarily serves the occupants and guests of the office building; or</li> <li>ii. The use is visible from, and within 100 feet of a promenade or Downtown park, such as Luke McRedmond Park, Anderson Park, O'Leary Park, The Edge Skate Park or the 83<sup>rd</sup> Street Promenade, for example, or within 100 feet of a critical areas buffer of the Sammamish River and access to the River Trail, and the use is designed to enliven the pedestrian environment and primarily cater to pedestrians and outdoor patrons.</li> </ol> </li> </ol> </li> <li>5. Drive-Through facilities shall have a minimum queuing distance of 120 feet which is not within the public right-of-way or on-site circulation aisles. A landscape buffer between the drive-through lane and the street shall be provided.</li> </ol>
6	Hotels, Motels, and Other Accommodation Services	Rental room (1.0, 1.0)	
Transportation, Communication, Information, and Utilities			
7	Road, Ground Passenger and Transit Transportation	1,000 sq ft gfa (3.5, 5.5)	<ol style="list-style-type: none"> <li>1. Valley View Zone: office uses only. No vehicle storage.</li> <li>2. Bear Creek and Trestle zones: Regional light rail transit system and office uses only. No vehicle storage except light rail vehicles in Trestle zone.</li> </ol>
8	Rapid charging station	Adequate to	<ol style="list-style-type: none"> <li>1. Shall not be located on a parcel that abuts a residential zone.</li> </ol>

9	Battery exchange station	accommodate peak use	
10	Communications and Information	1,000 sq ft gfa (3.5, 5.5)	
11	Local Utilities		
12	Large Satellite Dishes/Amateur Radio Antenna(s)	Adequate to accommodate peak use	See RZC 21.56 Wireless Communications Facilities.
13	Wireless Communication Facilities		
14	Broadcast and Relay Towers		1. Requires a conditional use permit. See RZC 21.76.070(K) Conditional Use Permit.
15	Arts, Entertainment, and Recreation	Adequate to accommodate peak use	
<b>Arts, Entertainment, and Recreation</b>			
16	Education, Public Administration, Health Care, and other Institutions, except those listed below	See Special Regulations.	1. <u>Parking</u> : The number of spaces must be adequate to accommodate the peak customer and employee shift, demonstrated by a parking study or other study submitted by the applicant and approved by the Code Administrator.
<b>Education, Public Administration, Health Care, and other Institutions</b>			
17	Day Care Center	See Special Regulations.	1. Provisions for day care centers include: a. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0) b. Play equipment shall be located no less than 10 feet from any property line c. <u>Parking</u> : The number of spaces must be adequate to accommodate the peak shift as determined by the Code Administrator after considering the probable number of employees, etc.
18	Religious Institutions	1,000 sq ft gfa (10.0, 10.0) or 1/5 fixed seats	1. A seat is one fixed seat or 18 inches on a pew or bench or seven square feet in the general assembly area (including aisle space, but excluding stage, podium, lobby, and space for musical instruments). 2. <u>A traffic mitigation plan is required</u> . The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.
19	Funeral Homes and Services		1. <u>Excludes crematoriums</u> .
<b>Other</b>			

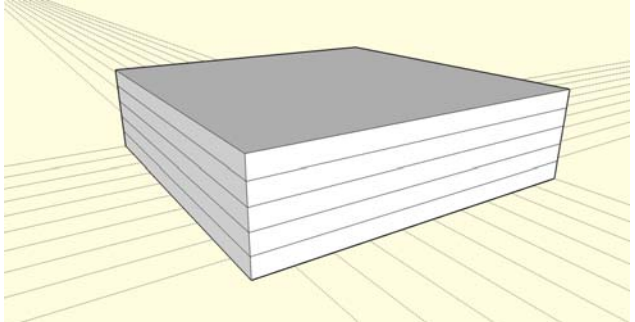
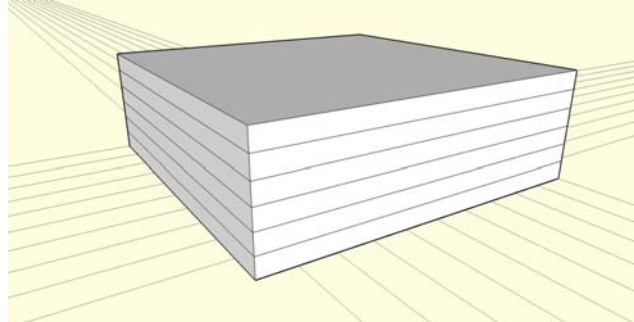
20	Vending Carts, Kiosks	<ol style="list-style-type: none"> <li>1. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.</li> <li>2. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act.</li> <li>3. Structures shall be secured to prevent tipping and endangering public safety.</li> <li>4. Maximum size is six feet wide by ten feet long.</li> <li>5. Administrative design review required for structures.</li> </ol>
21	Automobile Parking Facilities	<ol style="list-style-type: none"> <li>1. Surface Parking lots are prohibited.</li> </ol>

### 21.10.070 Sammamish Trail (SMT) Zone

#### (A) Purpose.

The Sammamish Trail (SMT) zone is one of four distinct mixed-use residential/office zones in the Downtown Neighborhood: Sammamish Trail (SMT), Town Square (TSQ), Anderson Park (AP), and River Bend (RVBD). All four zones are intended to provide for significant residential growth, as well as opportunities for growth in professional, business, health, and personal services. These zones provide for a range of employment uses, such as financial and professional services, public administrative offices, health services, advanced technology industries, universities and technical colleges, and other activities normally conducted in multi-story office structures. These zones are intended as areas for the densest employment and residential uses in the Downtown, but also provide for supporting retail, service, and entertainment uses located within walking distance of each other. Some of the quieter streets in these zones allow residential uses on the ground floor, whereas the primary streets are intended for active, pedestrian-friendly and activating commercial uses. The Sammamish Trail (SMT) zone encourages development, including restaurants and retail uses that focuses on, celebrates, and enhances the environment of the Sammamish River by providing amenities that are connected to the river, by orienting buildings to the river trail, by providing for building heights that are lower as they approach the river and higher beyond the shoreline/critical area boundaries, and by enhancing degraded shorelines adjacent to new development.

#### (B) Maximum Development Yield.

Allowed	Base	Maximum	Example of a 5-story building	Example of 6-story building
Height	5 stories	6 stories		
Lot Coverage	100%	100%		

These are office building examples using Transfer Development Rights or GBP to achieve the maximum achievable floor area within the maximum allowed building height. Residential and mixed-use residential developments may have similar height, but volume will differ due to setback and open space requirements.

**(C) Regulations Common to All Uses.**

<b>Regulation</b>	<b>Standard</b>	<b>Notes and Exceptions</b>
<b>Front Setback (distance from back of curb)</b>		
Front and side street (commercial use)	See Map 10.3 Downtown Pedestrian System Map.	Setbacks along Downtown Streets are regulated by the Downtown Pedestrian System which specifies street frontage standards between the street curb and the face of buildings, depending on site location.
Front and side street (residential use on ground floor)	See RZC 21.10.130(D) Residential Setback Requirements	Not permitted on ground floor street fronts of Type I pedestrian streets (Downtown Pedestrian System Map). Residential uses may be allowed on ground floor streets fronts of Type II Pedestrian Streets per 21.62.020(F)(5), Ground Floor Residential Uses on Type II Pedestrian Streets, but not within the shorter distance of 100 feet or one-quarter block length from a street intersection.
<b>Setback line (distance from property line)</b>		
Side commercial	0 feet	
Rear commercial	0 feet	
Side (residential)	See RZC 21.10.130(D) Residential Setback Requirements	
Rear (residential)	10 feet	
Yard adjoining BNSF ROW or Parks	14 feet	
Yard adjoining Mid-Block Path	See Map 10.3 Downtown Pedestrian System Map.	
<b>Other Standards</b>		
Minimum Building Height	2 Stories	1. Minimum height two stories, except single-story retail is allowed (through December 31, 2023) on (a) the south block of NE 83rd Street between 158th Avenue NE and 160th Avenue NE (i.e., in Lots 2 and 3 of Lot Line Revision 90-01) and (b) the portions of Lot 6 of the Redmond Center Plat lying west of 158th Avenue NE if extended south. RZC 21.62.020(G) (rather than RZC 21.62.020(H)) shall apply to single-story retail development within those two areas except that RZC 21.62.020(G)(2)(a)(ii) shall not apply to the above-referenced portions of Lot 6 of the Redmond Center Plat and except that RZC 21.62.020(G)(2)(a)(i) shall not apply to the above-referenced portion of the south block of NE 83rd Street.
Maximum Building Height w/o TDRs <a href="#">or GBP</a>	5 Stories	

Maximum Building Height w/ TDRs <a href="#">or GBP</a>	6 Stories	1. One floor of additional height may be achieved with the use of Transfer Development rights. ( <a href="#">See RZC 21.10.160, Using Transfer Development Rights</a> ) or through compliance with the Green Building Program ( <a href="#">See RZC 21.67, Green Building Infrastructure Program</a> )
Maximum Height Within Shorelines (SMP)	35 feet	<ol style="list-style-type: none"> <li>1. This height limit is restricted to that portion of the building physically located within the shoreline jurisdiction. (SMP)</li> <li>2. The maximum height of structures, including bridges, that support a regional light rail transit system may be higher than 35 feet but shall be no higher than is reasonably necessary to address the engineering, operational, environmental and regulatory issues at the location of the structure. (SMP)</li> </ol>
Maximum Lot Coverage	100%	<ol style="list-style-type: none"> <li>1. For residential development without ground floor commercial/office, lot coverage shall be governed by RZC 21.10.130(B), Residential Density Chart.</li> </ol>
Base FAR Without TDRs <a href="#">or GBP</a>	1.25	<ol style="list-style-type: none"> <li>1. Maximum FAR without TDRs <a href="#">or GBP</a>, for non-residential space, is 1.25. Residential space within a mixed-use building is exempt from TDR <a href="#">or GBP</a> requirements. See RZC 21.10.160, <a href="#">Using Transfer Development Rights or RZC 21.67, Green Building Infrastructure Program</a></li> <li>2. All legal lots are entitled to 10,000 square feet GFA without the use of TDRs provided that other site requirements can be met.</li> </ol>
Allowed Residential Density	Depends on Lot Size	See RZC 21.10.130(B), Downtown Residential Density Chart.

**(D) Allowed Uses and Basic Development Standards.**

The following table contains the basic zoning regulations that apply to uses. To use the chart, read down the left-hand column titled “Use.” When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require land use permit approval. See RZC 21.76.020, Overview of the Development Process, for more information. Uses not listed are not permitted.

Section	Use	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
<b>Residential</b>			
1	Multifamily Structure, Mixed-Use Residential	Dwelling Unit (1.0, 2.25) Plus one guest space per four units for projects with six units or more. Curbside parking along the site may be counted towards up to 25 percent of the required off-street parking.	<ol style="list-style-type: none"> <li>1. Maximum density per lot dependent upon size and width of lot, per RZC 21.10.130(B), Downtown Residential Densities Chart.</li> <li>2. Not permitted on ground floor street fronts of Type I pedestrian streets (see Map 10.3, Downtown Pedestrian System Map), or where ground floor residences may be negatively impacted by nearby nonresidential uses, except through establishment of an Administrative Design Flexibility per RZC 21.76.070(C). Residential uses may be allowed on ground floor streets fronts of Type II Pedestrian Streets per RZC 21.62.020(F)(5), Ground Floor Residential Uses on Type II Pedestrian Streets, but not within the shorter distance of 100 feet or one-quarter block-length from a street intersection.</li> <li>3. Affordable Housing requirements apply to developments of 10 units or more. See RZC 21.20.020.</li> </ol>
2	Dormitory	Bed (0.5, 1.0)	
3	SRO		
4	Housing Services for the Elderly	See Special Regulations	<p>Parking requirements are as follows:</p> <ol style="list-style-type: none"> <li>1. Multi-family housing for senior citizens: Unit (0.5, 2.0).</li> <li>2. Nursing home or long-term care facility: 4 patient beds (1.0, 1.0).</li> <li>3. Retirement residence with no skilled nursing facility: Unit (1.0, 1.0).</li> <li>4. Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25).</li> <li>5. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</li> </ol>



General Sales or Service			
5	General Sales or Services	1,000 sq ft gfa (2.0, 3.5)	<ol style="list-style-type: none"> <li>1. Uses not permitted include:               <ol style="list-style-type: none"> <li>a. Gasoline service.</li> <li>b. Auto repair.</li> <li>c. Automobile sales with outdoor display and storage.</li> <li>d. Rental storage and mini-warehouses.</li> <li>e. Retail sales or services involving drive-through/drive-up facilities, except drive-through facilities confined within the garage of a multi-story (at least three stories) building shall be allowed when the drive-through lanes provide a queuing length adequate to serve peak demand without overflowing onto public sidewalks or streets, as determined by a professional traffic engineer and is approved by the City.</li> </ol> </li> <li>2. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments.</li> <li>3. Parking standards for restaurant uses:               <ol style="list-style-type: none"> <li>a. Sit-down restaurant: 1,000 SF GFA (9.0, 9.0).</li> <li>b. Take-out restaurant: 1,000 SF GFA (10.0, 10.0).</li> <li>c. 1,000 sq ft gfa (5.0, 5.0) when the restaurant is located in a multi-story building at least 3 stories tall.</li> <li>d. The Technical Committee may waive the parking requirement for restaurant/deli/café uses less than 750 square feet gfa that support/enhance the City's vision for creating /enhancing Downtown as a pedestrian place provided:                   <ol style="list-style-type: none"> <li>i. The use is located in an office building and primarily serves the occupants and guests of the office building; or</li> <li>ii. The use is visible from and within 100 feet of a promenade or Downtown park, such as Luke McRedmond Park, Anderson Park, O'Leary Park, The Edge Skate Park or the 83<sup>rd</sup> Street Promenade, for example, or within 100 feet of a critical areas buffer of the Sammamish River and access to the River Trail, and the use is designed to enliven the pedestrian environment and primarily cater to pedestrians and outdoor patrons.</li> </ol> </li> </ol> </li> <li>4. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.</li> </ol>
6	Hotels, Motels, and Other Accommodation Services	Rental room (1.0, 1.0)	
Transportation, Communication, Information, and Utilities			
7	Road, Ground Passenger and Transit Transportation	1,000 sq ft gfa (2.0, 3.5)	1. Regional light rail transit system and office uses only. No vehicle storage except light rail vehicles.
8	Rapid charging station	Adequate to accommodate peak use	1. Shall not be located on a parcel that abuts a residential zone.
9	Battery exchange station		
10	Communications and Information	1,000 sq ft gfa (2.0, 3.5)	
11	Local Utilities		

12	Large Satellite Dishes/Amateur Radio Antenna(s)	Adequate to accommodate peak use	See RZC 21.56 Wireless Communications Facilities.
13	Wireless Communication Facilities		
14	Broadcast and Relay Towers		1. Requires a conditional use permit. See RZC 21.76.070(K) Conditional Use Permit.
<b>Arts, Entertainment, and Recreation</b>			
15	Arts, Entertainment, and Recreation	Adequate to accommodate peak use	
<b>Education, Public Administration, Health Care, and other Institutions</b>			
16	Educational Services; Public Administration; Public Safety; Other Government Functions; Associations, nonprofit organizations, etc.	See Special Regulations.	<u>1.</u> Parking: The number of spaces must be adequate to accommodate the peak customer and employee shift, demonstrated by a parking study or other study submitted by the applicant and approved by the Code Administrator.
17	Day Care Center	See Special Regulations.	1. Provisions for day care centers include: a. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0). b. Play equipment shall be located no less than 10 feet from any property line. c. Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Code Administrator after considering the probable number of employees, etc.
18	Religious Institutions	1,000 sq ft gfa (10.0, 10.0) or 1/5 fixed seats	1. A seat is one fixed seat or 18 inches on a pew or bench or seven square feet in the general assembly area (including aisle space, but excluding stage, podium, lobby, and space for musical instruments). <u>2.</u> A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.
19	Funeral Homes and Services		<u>1.</u> Excludes crematoriums.
<b>Other</b>			
20	Vending Carts, Kiosks		1. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access. 2. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act. 3. Structures shall be secured to prevent tipping and endangering public safety. 4. Maximum size is six feet wide by ten feet long. 5. Administrative design review required for structures.

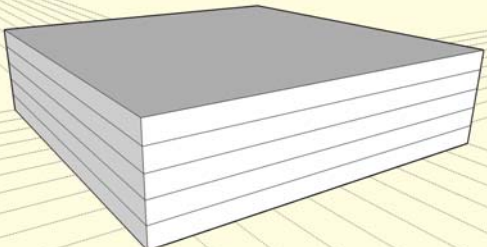
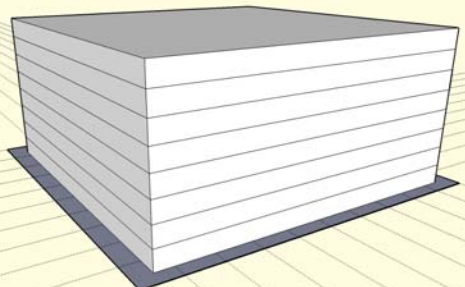
21	Automobile Facilities	Parking	1. Surface parking lots are prohibited.
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## 21.10.080 Town Square (TSQ) Zone

### (A) Purpose.

The Town Square (TSQ) zone is one of four distinct mixed-use residential/office zones in the Downtown Neighborhood: Sammamish Trail (SMT), Town Square (TSQ), Anderson Park (AP), and River Bend (RVBD). All four zones are intended to provide for significant residential growth, as well as opportunities for growth in professional, business, health, and personal services. These zones provide for a range of employment uses such as financial and professional services, public administrative offices, health services, advanced technology industries, universities and technical colleges, and other activities normally conducted in multi-story office structures. These zones are intended as areas for the densest employment and residential uses in the Downtown, but also provide for supporting retail, service, and entertainment uses located within walking distance of each other. Some of the quieter streets in these zones allow residential uses on the ground floor, whereas the primary streets are intended for active, pedestrian-friendly and activating commercial uses. The Town Square zone encourages new transit-oriented development in order to take advantage of the zones proximity to local and regional transit opportunities.

### (B) Maximum Development Yield.

Allowed	Base	Maximum	Example of a 5-story building	Example of 8-story building
Height	5 stories	8 stories		
Lot Coverage	100 percent	80 percent	<p>These are office building examples using Transfer Development Rights <a href="#">or GBP</a> to achieve the maximum achievable floor area within the maximum allowed building height. Residential and mixed-use residential developments may achieve similar results.</p>	

**(C) Regulations Common to All Uses.**

<b>Regulation</b>	<b>Standard</b>	<b>Notes and Exceptions</b>
<b>Front Setback (distance from back of curb)</b>		
Front and side street (commercial use)	See Map 10.3 Downtown Pedestrian System Map.	Setbacks along Downtown Streets are regulated by the Downtown Pedestrian System which specifies street frontage standards between the street curb and the face of buildings, depending on site location.
Front and side street (residential use on ground floor)	See Map 10.3 downtown Pedestrian System Map.	Not permitted on ground floor street fronts of Type I pedestrian streets (Downtown Pedestrian System Map). Residential uses may be allowed on ground floor streets fronts of Type II Pedestrian Streets per 21.62.020(F)(5), Ground Floor Residential Uses on Type II Pedestrian Streets, but not within the shorter distance of 100 feet or one-quarter block length from a street intersection.
<b>Setback line (distance from property line)</b>		
Side commercial	0 feet	
Rear commercial	0 feet	
Side (residential)	See RZC 21.10.130(D) Residential Setback Requirements	
Rear (residential)	10 feet	
Yard adjoining BNSF ROW or Parks	14 feet	
Yard adjoining Mid-Block Path	See Map 10.3 Downtown Pedestrian System Map	
<b>Other Standards</b>		
Minimum Building Height	2 Stories	
Maximum Building Height without TDRs <u>or</u> <a href="#">GBP</a>	5 Stories	1. Building height is limited in certain areas. See RZC 21.10.110(B) Height Limit Overlay.
Maximum Building Height with TDRs <u>or</u> <a href="#">GBP</a>	8 Stories	1. Building height is limited in certain areas. See RZC 21.10.110(B) Height Limit Overlay. 2. One floor of additional height may be achieved with the use of Transfer of Development rights (See RZC 21.10.160, Using Transfer of Development Rights.) <u>or through compliance with the GBP (See RZC 21.67, Green Building Infrastructure Program)</u> except they may not be used to exceed eight stories where eight stories is allowed through bonus provisions. 3. Maximum height for buildings is five stories without Transfer of Development Rights (TDRs) or bonuses. Bonus to eight stories granted for provision of 20 percent on-site usable open space in the form of

		plazas/arcades with water features that are accessible to public during extended business hours, public meeting rooms, day care services, or the preservation of historic buildings or sites. The amenities shall be on the project site or within the zone in which the building is located. Such approval shall be granted through the site plan entitlement review process. TDRs <a href="#">or GBP</a> may not be used to exceed the eight-story height allowed through these bonuses
Maximum Lot Coverage	100 percent	1. For residential development without ground floor commercial/office, lot coverage shall be governed by the Residential Density Chart.
Base FAR Without TDRs <a href="#">or GBP</a>	1.25	1. Maximum FAR without TDRs <a href="#">or GBP</a> , for nonresidential space, is 1.25. Residential space within a mixed-use building is exempt from TDR <a href="#">and GBP</a> requirements. See RZC 21.10.160, Using Transfer of Development Rights <a href="#">and RZC 21.67, Green Building Infrastructure Program</a> . 2. All legal lots are entitled to 10,000 square feet GFA without the use of TDRs <a href="#">or GBP</a> provided that other site requirements can be met.
Allowed Residential Density	Depends on Lot Size	See RZC 21.10.130(B), Downtown Residential Density Chart.

**(D) Allowed Uses and Basic Development Standards.**

The following table contains the basic zoning regulations that apply to uses. To use the chart, read down the left-hand column titled “Use.” When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require land use permit approval. See RZC 21.76.020, Overview of the Development Process, for more information. Uses not listed are not permitted.

Section	Use	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
<b>Residential</b>			
1	Multifamily Structure, Mixed-Use Residential	Dwelling Unit (1.0, 2.25) Plus one guest space per four units for projects with six units or more. Curbside parking along the site may be counted towards up to 25 percent of the required off-street parking.	<ol style="list-style-type: none"> <li>1. Maximum density per lot dependent upon size and width of lot, per RZC 21.10.130(B), Downtown Residential Densities Chart.</li> <li>2. Not permitted on ground floor street fronts of Type I pedestrian streets (see Map 10.3, Downtown Pedestrian System Map), or where ground floor residences may be negatively impacted by nearby nonresidential uses, except through establishment of an Administrative Design Flexibility per RZC 21.76.070(C). Residential uses may be allowed on ground floor streets fronts of Type II Pedestrian Streets per RZC 21.62.020(F)(5), Ground Floor Residential Uses on Type II Pedestrian Streets, but not within the shorter distance of 100 feet or one-quarter block-length from a street intersection.</li> <li>3. Affordable Housing requirements apply to developments of 10 units or more. See RZC 21.20.020.</li> </ol>
2	Dormitory	Bed (0.5, 1.0)	
3	SRO		
4	Housing Services for the Elderly	See Special Regulations.	<p>Parking requirements are as follows:</p> <ol style="list-style-type: none"> <li>1. Multifamily housing for senior citizens: Unit (0.5, 2.0).</li> <li>2. Nursing home or long-term care facility: 4 patient beds (1.0, 1.0).</li> <li>3. Retirement residence with no skilled nursing facility: Unit (1.0, 1.0).</li> <li>4. Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25).</li> <li>5. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</li> </ol>





General Sales and Services			
5	General Sales or Services	1,000 sq ft gfa (2.0, 3.5)	<ol style="list-style-type: none"> <li>1. Uses not permitted include:               <ol style="list-style-type: none"> <li>a. Gasoline service.</li> <li>b. Auto repair.</li> <li>c. Automobile sales with outdoor display and storage.</li> <li>d. Rental storage and mini-warehouses.</li> <li>e. Retail sales or services involving drive-through/drive-up facilities, except drive-through facilities confined within the garage of a multi-story (at least three stories) building shall be allowed when the drive-through lanes provide a queuing length adequate to serve peak demand without overflowing onto public sidewalks or streets, as determined by a professional traffic engineer and is approved by the City.</li> </ol> </li> <li>2. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments.</li> <li>3. Parking standards for restaurant uses:               <ol style="list-style-type: none"> <li>a. Sit-down restaurant: 1,000 SF GFA (9.0, 9.0).</li> <li>b. Take-out restaurant: 1,000 SF GFA (10.0, 10.0).</li> <li>c. 1,000 sq ft gfa (5.0, 5.0) when the restaurant is located in a multi-story building of at least three stories tall.</li> <li>d. The Technical Committee may waive the parking requirement for restaurant/deli/café uses less than 750 square feet gfa that support/enhance the City's vision for creating/enhancing Downtown as a pedestrian place provided:                   <ol style="list-style-type: none"> <li>i. The use is located in an office building and primarily serves the occupants and guests of the office building; or</li> <li>ii. The use is visible from, and within 100 feet of a promenade or Downtown park, such as Luke McRedmond Park, Anderson Park, O'Leary Park, The Edge Skate Park or the 83<sup>rd</sup> Street Promenade, for example, or within 100 feet of a critical areas buffer of the Sammamish River and access to the River Trail, and the use is designed to enliven the pedestrian environment and primarily cater to pedestrians and outdoor patrons.</li> </ol> </li> </ol> </li> <li>4. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.</li> </ol>
6	Hotels, Motels, and Other Accommodation Services	Rental room (1.0, 1.0)	
Transportation, Communication, Information, and Utilities			
7	Road, Ground Passenger and Transit Transportation	1,000 sq ft gfa	1. Office only. No vehicle storage.
8	Rapid charging station	Adequate to accommodate peak use	1. Shall not be located on a parcel that abuts a residential zone.
9	Battery exchange station		
10	Communications and Information		

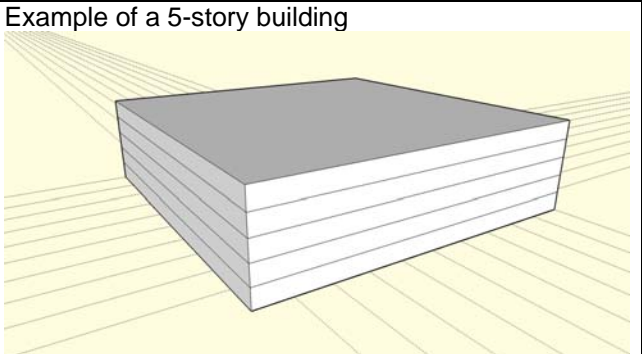
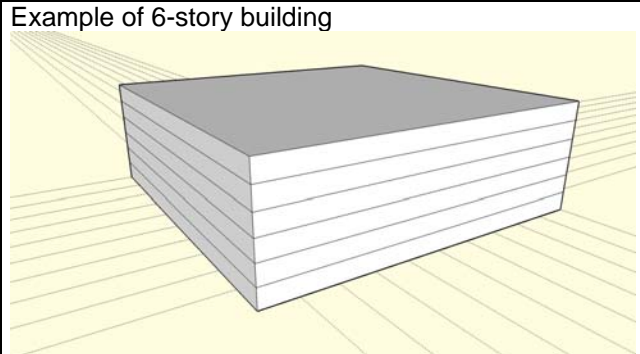
11	Local Utilities		
12	Large Satellite Dishes/Amateur Radio Antenna(s)	Adequate to accommodate peak use	See RZC 21.56 Wireless Communications Telecommunications Facilities.
13	Wireless Communication Facilities		
14	Broadcast and Relay Towers		1. Requires a conditional use permit. See RZC 21.76.070(K) Conditional Use Permit.
<b>Arts, Entertainment, and Recreation</b>			
15	Arts, Entertainment, and Recreation	Adequate to accommodate peak use	
<b>Education, Public Administration, Health Care, and other Institutions</b>			
16	Education, Public Administration, Health Care, and other Institutions, except those listed below	See Special Regulations.	<u>1.</u> Parking: The number of spaces must be adequate to accommodate the peak customer and employee shift, demonstrated by a parking study or other study submitted by the applicant and approved by the Code Administrator.
17	Day Care Center	See Special Regulations	1. Provisions for day care centers include: a. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0). b. Play equipment shall be located no less than 10 feet from any property line. c. Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Code Administrator after considering the probable number of employees, etc.
18	Religious Institutions	1,000 sq ft gfa (10.0, 10.0) or 1/5 fixed seats	<u>1.</u> A seat is one fixed seat or 18 inches on a pew or bench or seven square feet in the general assembly area (including aisle space, but excluding stage, podium, lobby, and space for musical instruments). <u>2.</u> A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.
19	Funeral Homes and Services		<u>1.</u> Excludes crematoriums.
<b>Other</b>			
20	Vending Carts, Kiosks		1. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access. 2. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act. 3. Structures shall be secured to prevent tipping and endangering public safety. 4. Maximum size is six feet wide by ten feet long. Administrative design review required for structures.
21	Automobile Parking Facilities		1. Surface parking lots are prohibited.

## 21.10.090 River Bend (RVBD) Zone

### (A) Purpose.

The River Bend (RVBD) zone is one of four distinct mixed-use residential/office districts in the Downtown Neighborhood: Sammamish Trail (SMT), Town Square (TSQ), Anderson Park (AP), and River Bend (RVBD). All four zones are intended to provide for significant residential growth, as well as opportunities for growth in professional, business, health, and personal services. These zones provide for a range of employment uses, such as financial and professional services, public administrative offices, health services, advanced technology industries, universities and technical colleges, and other activities normally conducted in multi-story office structures. These zones are intended as areas for the densest employment and residential uses in the Downtown, but also provide for supporting retail, service, and entertainment uses located within walking distance of each other. Some of the quieter streets in these zones allow residential uses on the ground floor, whereas the primary streets are intended for active, pedestrian-friendly and activating commercial uses. The River Bend zone enhances this area as an entrance to downtown by requiring streetscape improvements, by using design standards to encourage the creation of mixed residential/office villages and buildings, and by linking the zone with the Downtown core and Sammamish River. The River Bend zone also preserves the “green” gateway on Leary Way at the south end of Downtown by providing for the acquisition of land and the application of design standards and forest management.

### (B) Maximum Development Yield.

Allowed	Base	Maximum	Example of a 5-story building	Example of 6-story building
Height	5 stories	6 stories		
Lot Coverage	100 percent	100 percent	These are office building examples using Transfer Development Rights <a href="#">or Green Building Program</a> to achieve the maximum achievable floor area within the maximum allowed building height. Residential and mixed-use residential developments may have similar height, but volume will differ due to setback and open space requirements	

**(C) Regulations Common to All Uses.**

<b>Regulation</b>	<b>Standard</b>	<b>Notes and Exceptions</b>
<b>Front Setback (distance from back of curb)</b>		
Front and side street (commercial use)	See Map 10.3 Downtown Pedestrian System Map	1. Setbacks along Downtown Streets are regulated by the Downtown Pedestrian System which specifies street frontage standards between the street curb and the face of buildings, depending on site location.
Front and side street (residential use on ground floor)	n/a	Not permitted on ground floor street fronts of Type I pedestrian streets (Map 10.3, Downtown Pedestrian System Map).
<b>Setback line (distance from property line)</b>		
Side commercial	0 feet	
Rear commercial	0 feet	
Side (residential)	See RZC 21.10.130(D) Residential Setback Requirements	
Rear (residential)	10 feet	
Yard adjoining BNSF ROW or Parks	14 feet	
Yard adjoining Mid-Block Path	See Map 10.3 Downtown Pedestrian System Map	
<b>Other Standards</b>		
Minimum Building Height	n/a	
Maximum Building Height w/o TDRs <a href="#">or GBP</a>	5 Stories	
Maximum Building Height w/ TDRs <a href="#">or GBP</a>	6 Stories	1. One floor of additional height may be achieved with the use of Transfer Development rights.. ( <a href="#">See RZC 21.10.160, Using Transfer Development Rights</a> ) or through compliance with the Green Building Program ( <a href="#">See RZC 21.67, Green Building Infrastructure Program</a> )
Maximum Height Within Shorelines (SMP)	35 feet	1. This height limit is restricted to that portion of the building physically located within the shoreline jurisdiction. (SMP) 2. The maximum height of structures, including bridges, that support a regional light rail transit system may be higher than 35 feet but shall be no higher than is reasonably necessary to address the engineering, operational, environmental and regulatory issues at the location of the structure. (SMP)
Maximum Lot Coverage	100 percent	1. For residential development without ground floor commercial/office, lot coverage shall be governed by RZC 21.10.130(B), Residential Density

RZC 21.10: Downtown Regulations

		Chart.
Base FAR Without TDRs <a href="#">or GBP</a>	1.25	<p>1. Maximum FAR without TDRs <a href="#">or GBP</a>, for nonresidential space, is 1.25. Residential space within a mixed-use building is exempt from TDR <a href="#">or GBP</a> requirements. See RZC 21.10.160, Using Transfer of Development Rights and RZC 21.67, Green Building Infrastructure Program.</p> <p>2. All legal lots are entitled to 10,000 square feet GFA without the use of TDRs provided that other site requirements can be met.</p>
Allowed Residential Density	Depends on Lot Size	See RZC 21.10.130(B), Downtown Residential Density Chart.

**(D) Allowed Uses and Basic Development Standards.**

The following table contains the basic zoning regulations that apply to uses. To use the chart, read down the left-hand column titled “Use.” When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require land use permit approval. See RZC 21.76.020, Overview of the Development Process, for more information. Uses not listed are not permitted.

Section	Use	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
<b>Residential</b>			
1	Multifamily Structure, Mixed-Use Residential	Dwelling Unit (1.0, 2.25) Plus one guest space per four units for projects with six units or more. Curbside parking along the site may be counted towards up to 25 percent of the required off-street parking.	<ol style="list-style-type: none"> <li>1. Maximum density per lot dependent upon size and width of lot, per RZC 21.10.130(B), Downtown Residential Densities Chart.</li> <li>2. Not permitted on ground floor street fronts of Type I pedestrian streets (see Map 10.3, Downtown Pedestrian System Map), or where ground floor residences may be negatively impacted by nearby nonresidential uses, except by establishment of an Administrative Design Flexibility per RZC 21.76.070(C). Residential uses may be allowed on ground floor streets fronts of Type II Pedestrian Streets per RZC 21.62.020(F)(5), Ground Floor Residential Uses on Type II Pedestrian Streets, but not within the shorter distance of 100 feet or one-quarter block-length from a street intersection.</li> <li>3. Affordable Housing requirements apply to developments of 10 units or more. See RZC 21.20.020.</li> </ol>
2	Dormitory	Bed (0.5, 1.0)	
3	SRO		
4	Housing Services for the Elderly	See Special Regulations.	<p>Parking requirements are as follows:</p> <ol style="list-style-type: none"> <li>1. Multi-family housing for senior citizens: Unit (0.5, 2.0).</li> <li>2. Nursing home or long-term care facility: 4 patient beds (1.0, 1.0).</li> <li>3. Retirement residence with no skilled nursing facility: Unit (1.0, 1.0).</li> <li>4. Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25).</li> <li>5. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</li> </ol>

General Sales or Service			
5	General Sales or Services	1,000 sq ft gfa (2.0, 3.5)	<ol style="list-style-type: none"> <li>1. Uses not permitted include:               <ol style="list-style-type: none"> <li>a. Rental storage and mini-warehouses.</li> <li>b. Retail sales or services involving drive-through/drive-up facilities, except drive-through facilities confined within the garage of a multi-story (at least three stories) building shall be allowed when the drive-through lanes provide a queuing length adequate to serve peak demand without overflowing onto public sidewalks or streets, as determined by a professional traffic engineer and approved by the City.</li> </ol> </li> <li>2. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments.</li> <li>3. Auto Repair without outdoor storage and outdoor service is allowed provided:               <ol style="list-style-type: none"> <li>a. All service/repair work is performed indoors.</li> <li>b. There is no overnight storage of customer vehicles in outdoor parking areas.</li> </ol> </li> <li>4. Parking standards for restaurant uses:               <ol style="list-style-type: none"> <li>a. Sit-down restaurant: 1,000 SF GFA (9.0, 9.0).</li> <li>b. Take-out restaurant: 1,000 SF GFA (10.0, 10.0).</li> <li>c. 1,000 sq ft gfa (5.0, 5.0) when the restaurant is located in a multi-story building at least three stories tall.</li> <li>d. The Technical Committee may waive the parking requirement for restaurant/deli/café uses less than 750 square feet gfa that support/enhance the City's vision for creating /enhancing Downtown as a pedestrian place provided:                   <ol style="list-style-type: none"> <li>i. The use is located in an office building and primarily serves the occupants and guests of the office building; or</li> <li>ii. The use is visible from and within 100 feet of a promenade or Downtown park, such as Luke McRedmond Park, Anderson Park, O'Leary Park, The Edge Skate Park or the 83<sup>rd</sup> Street Promenade, for example, or within 100 feet of a critical areas buffer of the Sammamish River and access to the River Trail, and the use is designed to enliven the pedestrian environment and primarily cater to pedestrians and outdoor patrons.</li> </ol> </li> </ol> </li> <li>5. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.</li> </ol>
6	Hotels, Motels, and Other Accommodation Services	Rental room (1.0, 1.0)	
Transportation, Communication, Information, and Utilities			
7	Road, Ground Passenger & Transit Transportation	1,000 sq ft gfa (2.0, 3.5)	1. Regional light rail transit system and office uses only. No vehicle storage except light rail vehicles.
8	Rapid charging station	Adequate to accommodate peak use	1. Shall not be located on a parcel that abuts a residential zone.
9	Battery exchange station		
10	Communications and Information	1,000 sq ft gfa (2.0, 3.5)	

11	Local Utilities		
12	Large Satellite Dishes/Amateur Radio Antenna(s)	Adequate to accommodate peak use	See RZC 21.56 Wireless Communications Facilities.
13	Wireless Communication Facilities		
14	Broadcast and Relay Towers		1. Requires a conditional use permit. See RZC 21.76.070(K) Conditional Use Permit.
<b>Arts, Entertainment, and Recreation</b>			
15	Arts, Entertainment, and Recreation	Adequate to accommodate peak use	
<b>Education, Public Administration, Health Care, and other Institutions</b>			
16	Education, Public Administration, Health Care, and other Institutions, except those listed below		<u>1.</u> Parking: The number of spaces must be adequate to accommodate the peak customer and employee shift, demonstrated by a parking study or other study submitted by the applicant and approved by the Code Administrator.
17	Day Care Center	See Special Regulations.	1. Provisions for day care centers include: a. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0). b. Play equipment shall be located no less than 10 feet from any property line. c. Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Code Administrator after considering the probable number of employees, etc.
18	Religious Institutions	1,000 sq ft gfa (10.0, 10.0) or 1/5 fixed seats	1. A seat is one fixed seat or 18 inches on a pew or bench or seven square feet in the general assembly area (including aisle space, but excluding stage, podium, lobby, and space for musical instruments). <u>2.</u> A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.
19	Funeral Homes and Services	1,000 sq ft gfa (10.0, 10.0) or 1/5 fixed seats	<u>1.</u> Excludes crematoriums.
<b>Other</b>			
20	Vending Carts, Kiosks		1. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access. 2. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act. 3. Structures shall be secured to prevent tipping and endangering public safety. 4. Maximum size is six feet wide by ten feet long. 5. Administrative design review required for structures.
21	Automobile Parking Facilities		1. Surface parking lots are prohibited.

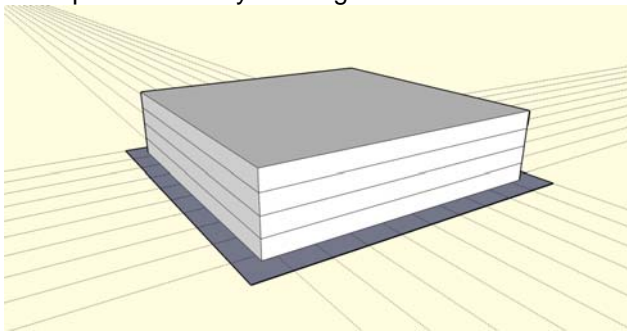


## 21.10.100 River Trail (RVT), Carter (CTR) , and East Hill (EH) Zones

### (A) Purpose.

Downtown includes three residential zones at the periphery of the neighborhood that are intended to retain a quieter “residential” character than the other nearby mixed-use areas. These zones will provide a variety of housing types that are not primarily mixed-use in developments that include more typical residential features, such as front yards, landscaping, and ground-related patios and porches. These areas are all located within walking distance to the various retail and service areas in the Downtown. The regulations in this division are intended to retain the East Hill zone’s special character and to ensure that single-family residential structures in this zone are well maintained until they are redeveloped with higher-density residential uses or are converted to nonresidential uses that are compatible with the residential neighborhood.

### (B) Maximum Development Yield.

Allowed	Base	Maximum	<p>Example of a 4-story building</p> 
Height	For stories	5 stories	
Lot Coverage	75 percent	Depends on setbacks and residential usable space requirements	
<p>These are office building examples using Transfer Development Rights <a href="#">or GBP</a> to achieve the maximum achievable floor area within the maximum allowed building height. Residential and mixed-use residential developments may achieve similar results.</p>			

(C) Regulations Common to All Uses.

Regulation	Standard	Notes and Exceptions
<b>Front Setback (distance from back of curb)</b>		
Front and side street (commercial use)	See Map 10.3 Downtown Pedestrian System Map.	Setbacks along Downtown Streets are regulated by the Downtown Pedestrian System which specifies street frontage standards between the street curb and the face of buildings, depending on site location.
Front and side street (residential use on ground floor)	See Map 10.3 Downtown Pedestrian System Map.	Setbacks along Downtown Streets are regulated by RZC 21.10.150, Downtown Pedestrian System which specifies street frontage standards between the street curb and the face of buildings, depending on site location.
<b>Setback line (distance from property line)</b>		
Side commercial	0 feet	
Rear commercial	0 feet	
Side (residential)	Depends on size of building	See RZC 21.10.130(D) Residential Setback Requirements
Rear (residential)	10 feet	
Yard adjoining BNSF ROW or Parks	14 feet	
Yard adjoining Mid-Block Path	See Pedestrian System Map	
<b>Other Standards</b>		
Minimum Building Height	n/a	
Maximum Building Height without TDRs <u>or GBP</u>	4 Stories	
Maximum Building Height with TDRs <u>or GBP</u>	5 Stories	1. One floor of additional height may be achieved with the use of Transfer Development rights. ( <a href="#">See RZC 21.10.160, Using Transfer Development Rights</a> ) or through compliance with the Green Building Program ( <a href="#">See RZC 21.67, Green Building Infrastructure Program</a> )
Maximum Height Within Shorelines (SMP)	35 feet	1. This height limit is restricted to that portion of the building physically located within the shoreline jurisdiction. (SMP) 2. The maximum height of structures, including bridges, that support a regional light rail transit system may be higher than 35 feet but shall be no higher than is reasonably necessary to address the engineering, operational, environmental and regulatory issues at the location of the structure. (SMP)
Maximum Lot Coverage	See Residential Density Chart.	1. For residential development without ground floor commercial/office, lot coverage shall be governed by RZC 21.10.130(B), Residential Density Chart. 2. For non-residential uses, maximum allowable lot coverage is 75%.
Base FAR Without TDRs <u>or GBP</u>	1.25	1. Maximum FAR without TDRs <u>or GBP</u> , for non-residential space, is 1.25. Residential space within a mixed-use building is exempt from TDR <u>or GBP</u> requirements. See RZC 21.10.160, <a href="#">Using Transfer Development Rights</a> <u>and</u> <a href="#">RZC 21.67, Green Building Infrastructure Program</a> 2. All legal lots are entitled to 10,000 square feet GFA without the use of

		TDRs <a href="#">or GBP</a> provided that other site requirements can be met.
Allowed Residential Density	Depends on Lot Size	See RZC 21.10.130(B), Downtown Residential Density Chart.

(D) Allowed Uses and Basic Development Standards.

The following table contains the basic zoning regulations that apply to uses. To use the chart, read down the left-hand column titled "Use." When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require land use permit approval. See RZC 21.76.020, Overview of the Development Process, for more information. Uses not listed are not permitted.

Section	Use	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
<b>Residential</b>			
1	Multifamily Structure, Mixed-Use Residential	Dwelling Unit (1.0, 2.25) Plus one guest space per four units for projects with six units or more. Curbside parking along the site may be counted towards up to 25 percent of the required off-street parking.	<ol style="list-style-type: none"> <li>1. Maximum density per lot dependent upon size and width of lot, RZC 21.10.130(B), Downtown Residential Densities Chart.</li> <li>2. Not permitted on ground floor street fronts of Type I pedestrian streets (see Map 10.3, Downtown Pedestrian System Map), or where ground floor residences may be negatively impacted by nearby nonresidential uses, except through establishment of an Administrative Design Flexibility per RZC 21.76.070(C). Residential uses may be allowed on ground floor streets fronts of Type II Pedestrian Streets per RZC 21.62.020(F)(5), Ground Floor Residential Uses on Type II Pedestrian Streets, but not within the shorter distance of 100 feet or one-quarter block length from a street intersection.</li> <li>3. Affordable Housing requirements apply to developments of 10 units or more. See RZC 21.20.020.</li> </ol>
2	Dormitory	Bed (0.5, 1.0)	
3	SRO		
4	Housing Services for the Elderly	See Special Regulations.	<p>Parking requirements are as follows:</p> <ol style="list-style-type: none"> <li>1. Multifamily housing for senior citizens: Unit (0.5, 2.0).</li> <li>2. Nursing home or long-term care facility: 4 patient beds (1.0, 1.0).</li> <li>3. Retirement residence with no skilled nursing facility: Unit (1.0, 1.0).</li> <li>4. Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25).</li> <li>5. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</li> </ol>

General Sales or Service			
5	General Sales or Services	1,000 sq ft gfa (2.0, 3.5)	<ol style="list-style-type: none"> <li>1. Uses not permitted include:               <ol style="list-style-type: none"> <li>a. Gasoline service.</li> <li>b. Auto repair.</li> <li>c. Automobile sales with outdoor display and storage.</li> <li>d. Rental storage and mini-warehouses.</li> <li>e. Retail sales or services involving drive-through/drive-up facilities.</li> <li>g. Uses requiring or utilizing outdoor storage.</li> </ol> </li> <li>2. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby residential developments.</li> <li>3. General Retail uses may only occupy single-family structures in existence prior to the year 2005 provided: a) Required parking for the use is not located in the front yard, and the parking and driveway areas do not expand beyond the year 2005 recorded parcel; b) The exterior of the structure, accessory structures, and landscaping maintain a single-family character; and c) Storage of all products is kept indoors and accessory buildings do not exceed 60 percent of the ground floor area of the main structure</li> <li>4. General Services are allowed only on the ground floor of multi-story mixed-use residential buildings. Except, General Service uses may occupy existing single-family structures in existence prior to 2005 provided: a) on-site parking is not located in the front yard; b) the exterior of the structure and landscaping maintains a single-family character; and c) the use is consistent with Comprehensive Plan Policies for the zone.</li> <li>5. Parking standards for restaurant uses:               <ol style="list-style-type: none"> <li>a. Sit-down restaurant: 1,000 SF GFA (9.0, 9.0).</li> <li>b. Take-out restaurant: 1,000 SF GFA (10.0, 10.0).</li> <li>c. The Technical Committee may waive the parking requirement for restaurant/deli/café uses less than 750 square feet gfa that support/enhance the City's vision for creating /enhancing Downtown as a pedestrian place provided:                   <ol style="list-style-type: none"> <li>i. The use is located in an office building and primarily serves the occupants and guests of the office building; or</li> <li>ii. The use is visible from and within 100 feet of a promenade or Downtown park, such as Luke McRedmond Park, Anderson Park, O'Leary Park, The Edge Skate Park or the 83<sup>rd</sup> Street Promenade, for example, or within 100 feet of a critical areas buffer of the Sammamish River and access to the. River Trail, and the use is designed to enliven the pedestrian environment and primarily cater to pedestrians and outdoor patrons.</li> </ol> </li> </ol> </li> <li>6. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use Developments.</li> </ol>
Transportation, Communication, Information, and Utilities			
6	Road, Ground Passenger and Transit Transportation	1,000 sq ft gfa (2.0, 3.5)	<ol style="list-style-type: none"> <li>1. Office only, No vehicle or outside storage allowed.</li> <li>2. These uses may occupy existing single-family structures in existence prior to 2005 provided: 1) on-site parking is not located in the front yard; 2) the exterior of the structure and landscaping maintains a single-family character; and 3) the use is consistent with Comprehensive Plan Policies for the zone.</li> </ol>

7	Communications and Information		<ol style="list-style-type: none"> <li>Office only. No vehicle or outside storage allowed.</li> <li>These uses may occupy existing single-family structures in existence prior to 2005 provided: a) on-site parking is not located in the front yard; b) the exterior of the structure and landscaping maintains a single-family character; and c) the use is consistent with Comprehensive Plan Policies for the zone.</li> </ol>
8	Local Utilities		<ol style="list-style-type: none"> <li>Office only, No vehicle or outside storage allowed.</li> <li>These uses may occupy existing single-family structures in existence prior to 2005 provided: a) on-site parking is not located in the front yard; b) the exterior of the structure and landscaping maintains a single-family character; and c) the use is consistent with Comprehensive Plan Policies for the zone.</li> </ol>
9	Large Satellite Dishes/Amateur Radio Antenna(s)	Adequate to accommodate peak use	See RZC 21.56 Wireless Communications Facilities.
10	Wireless Communication Facilities		
11	Broadcast and Relay Towers		1. Requires a conditional use permit. See RZC 21.76.070(K) Conditional Use Permit.
<b>Arts, Entertainment, and Recreation</b>			
12	Arts, Entertainment, and Recreation	Adequate to accommodate peak use	<ol style="list-style-type: none"> <li>Limited to parks and community centers, except events and exhibits are allowed on the ground floor of multi-story mixed use residential buildings.</li> <li>Art galleries are allowed in the ground floor of multi-story mixed-use residential buildings and in single-family structures in existence prior to the year 2005 provided: a) Required parking for the use is not located in the front yard and the parking and driveway areas do not expand beyond the year 2005 recorded parcel; b) The exterior of the structure, accessory structures, and landscaping maintain a single-family character.</li> </ol>
<b>Education, Public Administration, Health Care, and other Institutions</b>			
13	Education, Public Administration, Health Care, and other Institutions, except those listed below	See Special Regulations.	<ol style="list-style-type: none"> <li>Parking: The number of spaces must be adequate to accommodate the peak customer and employee shift, demonstrated by a parking study or other study submitted by the applicant and approved by the Administrator.</li> <li>These uses may occupy existing single-family structures in existence prior to 2005 provided: a) on-site parking is not located in the front yard; b) the exterior of the structure and landscaping maintains a single-family character; and c) the use is consistent with Comprehensive Plan Policies for the zone.</li> </ol>

14	Day Care Center		<ol style="list-style-type: none"> <li>1. Provisions for day care centers include: <ol style="list-style-type: none"> <li>a. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0).</li> <li>b. Play equipment shall be located no less than 10 feet from any property line.</li> <li>c. Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Administrator after considering the probable number of employees, etc.</li> </ol> </li> <li>2. These uses may occupy existing single-family structures in existence prior to 2005 provided: a) on-site parking is not located in the front yard; b) the exterior of the structure and landscaping maintains a single-family character; and c) the use is consistent with Comprehensive Plan Policies for the zone.</li> </ol>
15	Religious Institutions	1,000 sq ft gfa (10.0, 10.0) or 1/5 fixed seats	<ol style="list-style-type: none"> <li>1. These uses are may occupy existing single-family structures in existence prior to 2005 provided: a) on-site parking is not located in the front yard; b) the exterior of the structure and landscaping maintains a single-family character; and c) the use is consistent with Comprehensive Plan Policies for the zone.</li> <li>2. A seat is one fixed seat or 18 inches on a pew or bench or seven square feet in the general assembly area (including aisle space, but excluding stage, podium, lobby, and space for musical instruments).</li> <li>3. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</li> </ol>
16	Funeral Homes and Services		<ol style="list-style-type: none"> <li>1. Excludes crematoriums.</li> <li>2. These uses are may occupy existing single-family structures in existence prior to 2005 provided: a) on-site parking is not located in the front yard; b) the exterior of the structure and landscaping maintains a single-family character; and c) the use is consistent with Comprehensive Plan Policies for the zone.</li> </ol>

### **21.10.110 Building Height**

- (A) Height Tradeoff. The maximum building height on a site may be exceeded when building height reductions are required at building edges, along a street or park, to achieve better design and stepped building height through the land use permit process. The amount of floor area that is allowed to exceed the prescribed maximum building height (without use of bonuses or transfer of development rights) shall not exceed the floor area that was removed or omitted to create the stepped building facade and shall not exceed one additional floor above the prescribed maximum building height.
- (B) Height Limit Overlay. Building height restrictions within the Height Limit Overlay (HL) areas shall be as indicated on the Height Limit Overlays Map. The designation HL followed by a number indicates the maximum number of floors allowed. The limits within the overlay areas may not be exceeded with the use of bonuses or transfer development rights.



**INSERT MAP 10.2, HEIGHT LIMIT OVERLAY MAP, HERE**

### **21.10.120 Parking Standards**

- (A) Developments may provide parking in excess of the maximum allowed parking standard shown in the Allowed Uses and Basic Development Standards Tables in RZC 21.10.030 through RZC 21.10.100, above, provided the excess parking is also available at all times to the general public, and there is signage at the facility to inform users which parking stalls are available for public use.
- (B) For residential uses, curbside parking along the site may be counted towards up to 25 percent of the required off-street parking.
- (C) A floor area bonus is available in the Old Town zone when utilizing the fee in-lieu of parking provision.
- (D) Parking is not required for storefront ground floor home office space if the space is the lesser of 450 square feet or 25 percent of the gross floor area of the residence the home office is part of.

### **21.10.130 Downtown Residential Site Requirements**

- (A) Purpose. The purpose of the Residential Site Requirements is to:
  - (1) ensure that Downtown residential development is in character with the goals and visions for the neighborhood in terms of density and bulk on the sites and the blocks they are located in, as well as livability and comfort within developments and compatibility between neighboring properties; and
  - (2) create light, air, pedestrian and vehicular circulation, emergency access, and general aesthetics by providing setbacks for development; and
  - (3) provide open space in the Downtown area that is usable by its residents and visitors.
- (B) Downtown Residential Density Chart
  - (1) Use the table below to determine the permitted residential density of a site. The table is read from left to right. For example, in the East Hill District, a site that is 12,000 square feet in area and 120 feet in width will be allowed up to 45 dwellings per acre. If the site's area and width are in different rows, for example, 12,000 square feet and 100 feet wide, the lower density shall apply (36 dwelling units per acre).
  - (2) Exceptions.
    - (a) If the site's width would allow a higher density than the site's area, the higher density shall be allowed if the site's area is at least 85 percent of the lowest range of the areas in the same row as the site's width. Example: On a site in the East Hill District where the lot width equals 120 feet and the site area is at least 10,200 square feet (85 percent of 12,000 square feet), 45 dwelling units per acre are allowed.
    - (b) If the site's area would allow a higher density than the site's width, the higher density shall be allowed if the site's width is at least 85 percent of the lowest range of the widths in the same row as the site's area. Example: On a site in the East Hill District where the lot area equals 12,000 square feet and the site width is at least 102 feet (85 percent of 120 feet), 45 dwelling units per acre are allowed.
  - (3) Lot coverage requirements do not apply to residential developments with ground floor commercial/retail uses.
  - (4) Bonus for Semi- and Full-Subterranean Parking. In freestanding residential developments that are on sites which are not large enough to qualify for densities that are not regulated by a maximum number of dwelling units per acre, but by the bulk, height, parking, and other standards as shown in the Downtown Residential Densities Chart, below, a density bonus of 10 percent shall be granted to developments that provide semi- or full-subterranean parking where the finished floor height of the first floor is not more than four feet above the street curb.
  - (5) For Unit Lot Subdivisions in the Sammamish Trail and Town Square zones the minimum residential density required shall be 35 dwelling units per acre. See RZC 21.74 Land Division.

Downtown Residential Densities Chart				
Districts	Minimum Site Area (Sq. Ft.)	Minimum Site Width (Ft.)	Maximum Dwelling Units per Net Acres	Maximum Allowable Lot Coverage
River Trail, Carter and East Hill	2,400 – 3,199	Less than 26	1 unit per lot	75 percent
	2,400 – 3,199	27 – 43	2 units per lot With alley access only. Otherwise one unit per lot.	75 percent
	3,200 – 5,999	44 – 49	30 du/ac	75 percent
	6,000 – 11,999	50 – 119	36 du/ac	N/A
	12,000 – 17,999	120 – 179	45 du/ac	N/A
	18,000 or more	180 or more	Density shall not be regulated by a maximum number of dwelling units per acre, but by the application of bulk, height, parking, and all other development standards. For example, developments may achieve as many dwellings as possible when the development provides all of the necessary parking, open space, etc., for the number of units proposed, and the building(s) meet all of the prescribed standards. All developments with proposed densities exceeding 66 dwelling units per acre, inclusive of density bonuses allowed per Section, Residential Density Bonus, shall be required to have at least one level of semi-subterranean or subterranean parking or structured parking hidden behind ground floor commercial space or other pedestrian amenities along the street front.	N/A
Sammamish Trail, Town Square, Old Town, Anderson Park, River Bend and Town Center	2,400 – 3,199	Less than 26	1 unit per lot	75 percent
	2,400 – 3,199	27 – 43	2 units per lot With alley access only. Otherwise one unit per lot.	75 percent
	3,200 – 5,999	44 – 49	30 du/ac	75 percent
	6,000 – 11,999	50 – 119	36 du/ac	N/A
	12,000 or more	120 or more	Density shall not be regulated by a maximum number of dwelling units per acre, but by the application of bulk, height, parking, and all other development standards. For example, developments may achieve as many dwellings as possible when the development provides all of the necessary parking, open space, etc., for the number of units proposed, and the building(s) meet all of the prescribed standards. All developments with proposed densities exceeding 66 dwelling units per acre, inclusive of density bonuses allowed per Section, Residential Density Bonus, shall be required to have at least one level of semi-subterranean or subterranean parking or structured parking hidden behind ground floor commercial space or other pedestrian amenities along the street front.	N/A

Trestle, Valley View and Bear Creek	2,400 – 3,199	Less than 30	1 unit per lot
	2,400 – 3,199	30 – 43	2 units per lot With alley access only. Otherwise one unit per lot.
	3,200 – 5,999	44 – 49	26 du/ac
	6,000 or more	50 or more	<p>Developments qualifying for additional height per RZC 21.10.060 (C) when infill/redevelopment of the site creates an urban village per RZC 21.62.020(G)(2)(c) the following shall apply.</p> <p>Density shall not be regulated by a maximum number of dwelling units per acre, but by the application of bulk, height, parking, and all other development standards. For example, developments may achieve as many dwellings as possible when the development provides all of the necessary parking, open space, etc., for the number of units proposed, and the building(s) meet all of the prescribed standards. All developments with proposed densities exceeding 66 dwelling units per acre, inclusive of density bonuses allowed per Section, Residential Density Bonus, shall be required to have at least one level of semi-subterranean or subterranean parking or structured parking hidden behind ground floor commercial space or other pedestrian amenities along the street front.</p> <p>Otherwise the maximum allowed density is 30 dwelling units per acre.</p>

(C) Residential Lot Coverage

- (1) Requirements. For residential developments without ground floor commercial/office uses, maximum lot coverage shall not exceed the standards in RZC 21.10.130(B), Downtown Residential Densities Chart.
- (2) Exemptions. The following structures or portions of structures shall be excluded from the measurement of lot coverage:
  - (a) Ramps or other access for the disabled or elderly meeting Washington State Rules and Regulations for Barrier-Free Design.
  - (b) Required pedestrian walkways/vehicular lanes per Downtown pedestrian system. The area devoted to the required pedestrian system between the building and curb line/property line shall be counted as open space.
  - (c) An underground structure (below natural grade), or underground portion of a structure, on any part of the entire lot that is landscaped on the surface.

(D) Residential Setback Requirements

- (1) Applicability. All lots shall have one front yard and one rear yard, with the exception of lots with frontage on two streets or access corridors, which will have two front yards and no rear yard. Where a residential use is located above a ground floor commercial/office use, the side and rear setbacks shall apply only to the residential use.
- (2) Permitted Structures in Required Setback Areas. The following features are permitted within front, rear and side yard setback areas, provided that they project no closer than five feet to a property line and do not project more than five feet into the setback area. Permitted projections include building extremities, such as balconies, patios, porches, architectural protrusions, subterranean garages and structures (below natural grade), bay windows, and chimneys. Except on Type I and II pedestrian streets per Section 30-040, projections may project over street sidewalks up to the property line provided they do not project more than five feet into the setback area. The projections may be further restricted through the land use permit process based on public safety and aesthetic considerations.
- (3) Front Setbacks. Front setbacks shall conform to the standards specified in the Pedestrian System Map.
- (4) Side Setbacks. Side setbacks shall be determined by structure depth and height, according to the following table. The depth of the building shall be measured at right angles, or as near to right angles as possible, from the front property line in a plane horizontal to the ground. Buildings built to the side property line, such as townhouses, and mixed-use residential buildings as shown in the photograph below, are exempt from this requirement at the property line.

Residential Side/Interior Setbacks			
Height of Side/Interior Façade at highest Point in Feet			
Structure Depth in Feet	<31'	31 – 40'	>40'
	Minimum Side Setback in Feet		
65' or less	5'	6'	7'
66' to 80'	6'	6'	8'
81' to 100'	8'	9'	11'
101' to 120'	11'	12'	14'
121' to 140'	14'	15'	17'
141' to 160'	17'	18'	20'
161' or more	19'	21'	23'

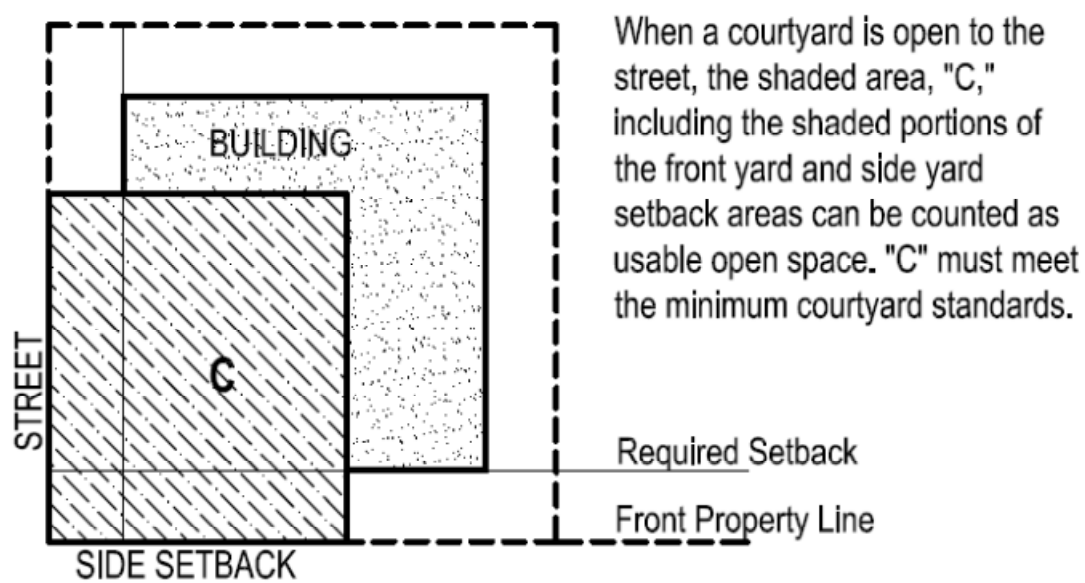


- (5) Rear Setbacks. Rear setbacks shall be provided for all residential uses per the Allowed Uses and Basic Development Standards Tables in RZC 21.10.030 through RZC 21.10.100, above.
- (6) Distance between Buildings.
  - (a) Two or more detached buildings on the same lot shall have a minimum separation of 15 feet. A detached accessory structure shall be separated by a minimum of five feet from any other structure. This restriction shall not apply to air conditioners, heaters, vents, pumps, solar collectors or similar equipment.
  - (b) Roof Eaves. Roof eaves of principal and accessory structures shall have a minimum separation of five feet. This restriction shall not apply to patio covers and similar structures with open lattice, grill work or uncovered roof beams.

(E) Residential Usable Open Space

- (1) General. On-site usable open space is an important feature for residential uses as it provides residents with a place, or places, to relax and/or recreate without the need to leave their building. In order to achieve some basic amounts of on-site usable open space, two types of usable open space are required for each unit: common open space in forms such as plazas, rooftop gardens, and recreation rooms; and private open spaces in the forms of balconies and patios. Below are the general standards for the two different types of usable open space:
  - (a) Common Usable Open Space. At least 100 square feet per residential unit of common usable open space shall be provided in the development, up to a maximum area equivalent to 20 percent of the site. The spaces provided shall meet the size and dimensional requirements specified in Table 21.10.130 (E), Residential Usable Open Space Sizes and Dimensions, below. Common usable open space may be provided in forms such as plazas, rooftop gardens, and recreation rooms that are accessible to all residents of a building. Units with at least 200 square feet of private usable open space (like townhomes), where the smallest dimension is no less than 10 feet, may be excluded from the count of units that need to contribute to the common usable open space requirement. Front yards may not be counted as common open space, except per Figure 10.1 below.

Figure 10.1



- (b) Private Usable Open Space. Private usable open space shall be provided in the form of an attached patio or balcony for each unit per Table 21.10.130 (E), Residential Usable Open Space Sizes and Dimensions below.
- (2) Open Space Size and Dimensions. Table 21.10.130 (E), Residential Usable Open Space Sizes and Dimensions specifies the minimum open space size and dimensions for both common and private usable open space areas. Balconies may be reduced to 12 square feet in area for up to 50 percent of the units when double doors are provided to the balcony.

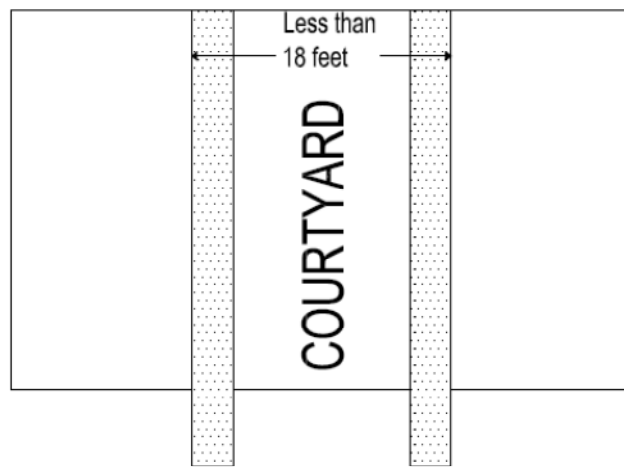
**Table 21.10.130 (E)  
Residential Usable Open Space Size and Dimensions**

Type of Usable Open Space	Minimum Length	Minimum Width	Minimum Height	Minimum Area (in sq. ft.)
1. Common	12'	12'	As specified in IBC for habitable overhead height	200
2. Private – Patio	8'	8'	Same as above	80
– Balcony	5'	5'	Same as above	50

(3) Use of In-Lieu Fee for Downtown Residential Usable Open Space

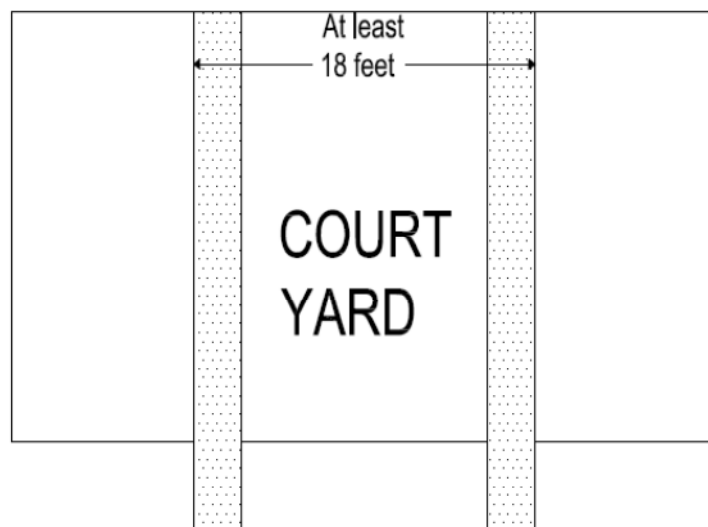
- (a) Balconies. If the street front facade of a building is deemed to be too cluttered, monotonous, and/or over dominated by too many balconies being too close together, the number of balconies on the facade may be reduced with the approval of the Design Review Board in order to effect a more balanced and attractive facade. An in-lieu fee for each required balcony not provided shall be paid to the City for park land purchase and improvements within the Downtown neighborhood. The fee for each balcony not provided on the building shall be equivalent to 50 percent of the park impact fee for a multi-family residence. No less than 50 percent of the units shall include private open spaces.
  - (b) Common Open Space. An in-lieu fee for each 100 square feet of common open space not provided shall be paid to the City for park land purchase and improvements within the Downtown neighborhood. The fee for each 100 square feet of required open space not provided on-site shall be equivalent to 50 percent of the park impact fee for a multi-family residence. No less than 50 square feet of common open space per unit shall be provided on-site.
- (4) Combining Common Usable Open Space and Pedestrian Access. Parking areas, driveways and pedestrian access shall not be counted as common usable open space. Except: if the total width of the common usable open space is 18 feet or wider, any pedestrian path or walkway traversing through the open space may be considered as common usable open space. See Figure 10.2 and Figure 10.3 below.

**Figure 10.2**



Area of walkway not counted as open space.

**Figure 10.3**



Area of walkway counted as open space.

### **21.10.140 Landscaping**

- (A) General Requirement. All setbacks, buffers, open spaces, pervious surfaces, plazas, parks, site and building entrances, pedestrian walkways, service areas, and parking lots shall be landscaped with plant materials. Existing vegetation may be maintained and apply toward this standard if the existing vegetation meets the landscaping requirements of this section, is healthy, and is likely to survive development. The requirements specified in RZC 21.60.040(C), Landscaping; RZC 21.62.020(F)(8), Residential Landscaping; and RZC 21.32 Landscaping, shall apply.
- (B) Plazas and common usable open spaces shall be landscaped to create visual interest by providing a variety of colors, heights, and forms of foliage, soften building edges, and reduce the impact of elements such as noise or wind.
- (C) The quantity of trees, shrubs, and other plant materials shall be designed to meet the size and function of the plaza or open space.

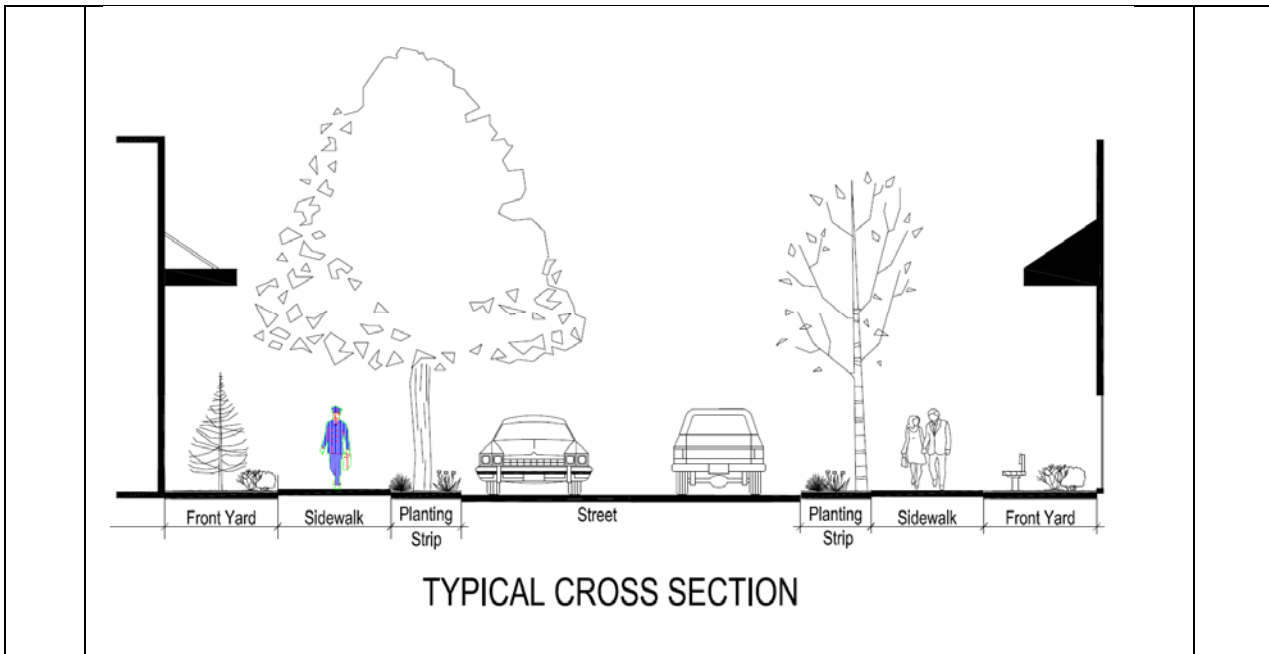
### **21.10.150 Pedestrian System**

- (A) Purpose. The purpose of the Downtown pedestrian system is to:
  - (1) Provide safe pedestrian routes removed from traffic;
  - (2) Enhance the appearance of buildings and their settings;
  - (3) Provide a unified design element to complement varying architectural styles;
  - (4) Soften the appearance of parking lots and service storage areas; and
  - (5) Provide for the planting of street trees and other vegetation appropriate for an urban setting.
- (B) Installation of Pedestrian System. The various components of the pedestrian system are shown on Map 10.3 entitled "Downtown Pedestrian System"; the tables and graphics included in RZC 21.10.150(C), Pedestrian System Description; Map 10.4 entitled "Town Center Pedestrian System"; and the table RZC 21.10.150(O), entitled, "Downtown Streets Cross Sections"; all of which are incorporated as a part of this section. As property is developed or redeveloped, corresponding portions of the systems shall be installed or otherwise provided for by the property owner/developer. The front yard distance specifies the minimum front yard setback measured from the back of sidewalk. Where the front yard distance is specified as zero feet, the building shall be built to the back of the sidewalk. The mid-block segments shown on the map represent desired connections between blocks. In order to provide flexibility, the actual alignment shall be determined through the site plan land use permit process.

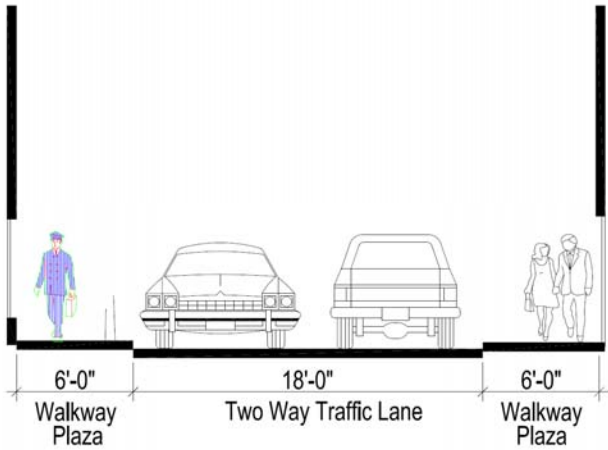
**Insert map 10.3 pedestrian System**



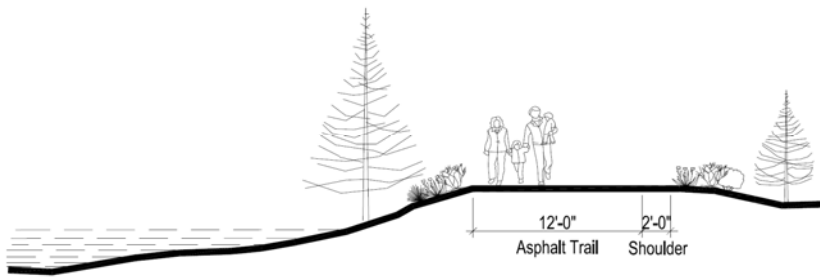
(C) Pedestrian System Description. The table and graphics below depict the various pedestrian system cross sections that are called out in the corresponding Downtown Pedestrian System map above. Pedestrian System Types I through VI are grouped together in a common table as they are located along street fronts.



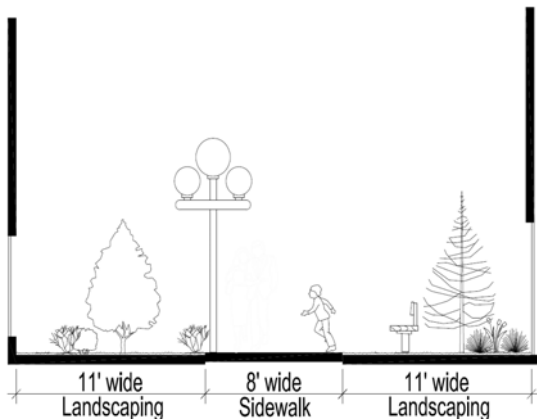
Cross Section	Ped. Zone			Street	Ped. Zone		
	Front Yard	Sidewalk	5' Planting Strip or 4' Furniture Zone with Tree Grates		5' Planting Strip or 4' Furniture Zone with Tree Grates	Sidewalk	Front Yard
I	0	10	4		4	10	0
II	0	10	4		4	10	0
III	14	6	5		5	6	14
IV	7	8	5		5	8	8
V	17	8	5		5	8	17
VI	8	8	4		4	4	8



Type VII – A 30-foot-wide combination walkway/vehicular lane.



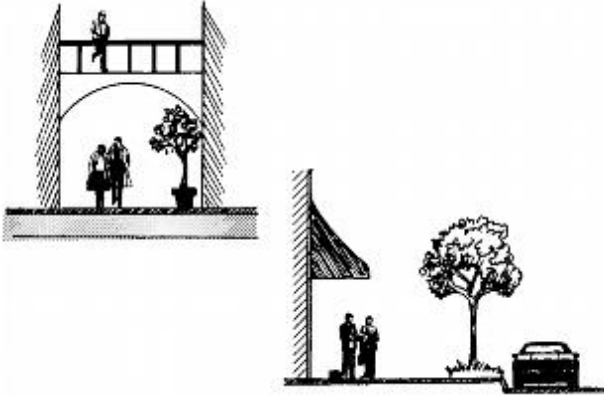
Type VIII – A 12 foot asphalt trail following natural elements such as rivers and streams, with pedestrian connection to buildings.



Type IX - A 30-foot-wide mid-block pathway with an 8-foot sidewalk in the middle and 11 feet of landscaping/plaza on each side.

**INSERT MAP 10.4 TOWN CENTER PEDESTRIAN**

- (D) Easements/Dedications. Where a pedestrian system walkway exists or is required outside of a public right-of-way, an easement or the dedication to the City of Redmond may be required to provide continuity of the walkway to adjoining property. In case of dedication, residential density shall be calculated based on pre-dedication lot area.
- (E) Permitted Encroachments. Upper floors of buildings, marquees, potted plants, awnings, blade signs, and roof projections may extend over the pedestrian system when the encroachment is integrated into the pedestrian system by providing a covered walkway, plaza, or it otherwise complements pedestrian activities.



**Buildings, marquees and roof projections may extend over pedestrian systems when the encroachment is integrated into the pedestrian system by providing a covered walkway, plaza, or it otherwise complements pedestrian activities.**

- (F) Width Measured from Back of Curb. Where a pedestrian system adjoins a public street, the system's width shall be measured from the back of the existing or proposed curb.
- (G) Construction Standards. Construction standards for sidewalks are identified in the City of Redmond's Standard Specifications and Details.
- (H) Driveway Crossings. Driveways crossing the pedestrian system shall be minimized and joint use of driveways required, when feasible, to separate vehicles and pedestrians. Areas in driveways will not be calculated as part of the area required to be landscaped in the pedestrian system.
- (I) Access to Buildings. Pedestrian access from the primary building to the pedestrian system along the street shall not be interrupted by vehicular circulation, parking, or other elements that discourage pedestrian use.
- (J) Interior Block Pedestrian System. Interruptions of mid-block pedestrian systems by vehicular circulation or parking are not permitted.
- (K) Variations Not Meeting Standards. Variations in the pedestrian system that do not meet minimum standards may be approved by the Technical Committee. Variations may be allowed after consideration of the following factors:
- (1) Existing right-of-way available to meet standards;
  - (2) Existing buildings encroaching in linkage area;
  - (3) Pedestrian and vehicular volumes anticipated;
  - (4) Existing vegetation;
  - (5) Disruption of system continuity;
  - (6) Accessibility to buildings.

(L) Street Trees Generally. Street trees within the Downtown neighborhood shall be provided as noted on the map entitled "Downtown Street Tree Plan" which is on file in the office of the Planning Department. As property is developed or redeveloped, trees shall be installed or otherwise provided for by the property owner/developer. For streets which do not list tree types or spacing requirements, refer to the City of Redmond Street Tree Plan.

(M) Requirements for Street Trees.

(1) Location. Trees shall be spaced on average as noted on the Downtown Street Tree Plan. Trees shall be planted in planter strips where they exist or are required per this Division 30. Where sidewalks are required to be contiguous with street curbs, trees shall be planted in irrigated tree wells, with City-approved root barriers, next to the street. Street trees may be grouped in larger planters near the curb, if found more appropriate through the Administrative Design Flexibility process. Street trees that cannot be placed next to the street due to inadequate planter strip width, street furniture, driveways, or utilities shall be planted in the abutting yard area.

(2) Street trees shall be planted according to guidelines outlined in RZC 21.32 Landscaping.

(N) Downtown Street Cross Sections.

(1) Guidelines for Application.

(a) The Technical Committee shall review and approve each component of the street cross section on a project by project basis and has the authority to alter street cross section widths and uses.

(b) Street Cross Section widths apply at the middle of the block.

(i) The widths and existence of each component may vary at intersections, as determined by the Technical Committee.

(ii) Intersection design shall be based upon the Pedestrian Program Plan and Bicycle System Plan chapters of the TMP, the Bicycle Facilities Design Manual, the City's Construction Specifications (RZC Appendix 2), and any corridor study adopted by the City Council for the street(s) in question.

(c) Dedicated Right Of Way shall be 60 feet, except in cases where there is more than one General Purpose lane going the same direction, wherein the dedicated Right-of-Way shall be determined by the Technical Committee. Any sidewalk width required by the Downtown Pedestrian System Map exceeding the required Right-of-Way shall be provided through an easement.

(d) Provisions of medians and left-turn lane access shall be determined on a project-by-project basis, based on traffic speeds, volumes and collision history and using recognized engineering standards, such as those published by AASHTO, ITE, or other recognized authority.

(e) Utilities, such as power, telephone and cable, shall be placed under the sidewalk.

(f) When designing multimodal corridors refer to the Modal Integration section of the Transportation Master Plan. Corridors shall support all modes.

(g) See Required Public Improvements (RZC 21.52.030(F)) to review additional options and requirements.

(O) Downtown Streets Cross Sections.

Downtown Streets Cross Sections												
Street	From	To	Southbound/Westbound				Northbound/Eastbound				Mid-Block Right-of-Way Width	Curb-to-Curb Width
			Street									
			On-Street Parking Width	Bike Lane Width	General Purpose Lanes Width	Median / Two Way Left Turn Lane Width	General Purpose Lanes Width	Bike Lanes Width	On-Street Parking Width			
158th Ave NE	NE 85th St	NE 83rd St	8	0	14	0	14	0	8	60	44	
158th Ave NE	NE 83rd St	Redmond Way	18	0	11	0	11	0	8	60	48	
159th PI NE	Bear Creek Parkway	Leary Way	8	0	11	0	11	0	8	60	38	
160th Ave NE	NE 90th St	NE 85th St	8	0	12	12	12	0	0	60	44	
160th Ave NE	NE 85th St	NE 83rd St	8	0	14	0	14	0	8	60	44	
160th Ave NE	NE 83rd St	Redmond Way	0	0	11	11	11	0	0	60	33	
161st Ave NE	NE 90th St	NE 87th St	0	5.5	11	11	11	5.5	0	60	44	
161st Ave NE	NE 87th St	Redmond Way	0	6	12	12	12	6	8	60	56	
161st Ave NE	Redmond Way	Bear Creek Parkway	8	5.5	12	0	12	5.5	8	60	51	
164th Ave NE/Red-Wood Rd	NE 90th St	NE 80th St	0	5.5	11	11	11	5.5	0	60	44	
164th Ave NE	NE 80th St	Redmond Way	0	0	12	12	12	0	0	60	36	
164th Ave NE	Redmond Way	NE 76th St	8	0	12	0	12	0	8	60	40	
165th Ave NE	NE 85th St	NE 80th St	8	0	11	0	11	0	8	60	38	
166th Ave NE	NE 85th St	NE 76th St	0	5.5	11	11	11	5.5	0	60	44	

RZC 21.10: Downtown Regulations

Downtown Streets Cross Sections													
			Southbound/Westbound				Northbound/Eastbound						
			Street										
Street	From	To	On-Street Parking Width	Bike Lane Width	General Purpose Lanes Width	Median / Two Way Left Turn Lane Width	General Purpose Lanes Width	Bike Lanes Width	On-Street Parking Width	Mid-Block Right-of-Way Width	Curb-to-Curb Width		
167th Ave NE	NE 85th St	NE 83rd St	0	0	11	0	11	0	8	60	30		
168th Ave NE	NE 80th St	Redmond Way	8	0	14	0	14	0	8	60	44		
169th Ave NE	NE 82nd St	NE 79th St	8	0	12	0	12	0	8	60	40		
170th Ave NE	NE 80th St	NE 79th St	8	0	11	0	11	0	8	60	38		
170th PI NE	NE 80th St	Avondale Way	8	0	11	0	11	0	8	60	38		
170th PI NE	Avondale Way	Redmond Way	0	0	11	12	11	0	0	60	34		
Leary Way	NE 80th St	Cleveland St	8	0	12	0	12	0	8	60	40		
Leary Way	Cleveland St	BNSF	0	0	11	11	11	0	0	60	33		
Leary Way	BNSF	Bear Creek Parkway	0	0	12	12	24 (1)	0	0	78	48		
Leary Way	Bear Creek Parkway	Sammamish River	0	0	24 (1)	0	24 (1)	0	0	72	48		
Avondale Way	NE 80th St	Redmond Way	0	5.5	11	11	22 (1)	5.5	0	70	55		
Avondale Way	Redmond Way	NE 76th St	0	0	11	12	11	0	0	60	34		
NE 79th St	Redmond Way	168th Ave NE	8	0	12	0	12	0	8	60	40		
NE 79th St	168th Ave NE	Avondale Way	8	0	13	0	13	0	8	60	42		
NE 80th St	Redmond Way	Leary Way	8	0	14	0	14	0	8	60	44		

Downtown Streets Cross Sections													
			Southbound/Westbound				Northbound/Eastbound						
			Street										
Street	From	To	On-Street Parking Width	Bike Lane Width	General Purpose Lanes Width	Median / Two Way Left Turn Lane Width	General Purpose Lanes Width	Bike Lanes Width	On-Street Parking Width	Mid-Block Right-of-Way Width	Curb-to-Curb Width		
NE 80th St	Leary Way	164th Ave NE	0	0	20	12	12	0	0	60	44		
NE 80th St	164th Ave NE	170th PI NE	8	0	14	0	14	0	8	60	44		
NE 83rd St	158th Ave NE	160th Ave NE	8	0	11	0	11	0	20	60	50		
NE 83rd St	160th Ave NE	161st Ave NE	20	0	11	0	11	0	8	60	50		
NE 83rd St	161st Ave NE	490 feet east of center of 161st Ave NE and NE 83rd Street intersection	12	0	14	0	14	0	12	60	52		
NE 83rd St/Transit Center	490 feet east of center of 161st Ave NE and NE 83rd Street intersection	164th Ave NE	0	0	15	12	15	0	0	60	42		
NE 83rd St	164th Ave NE	166th Ave NE	8	0	14	0	14	0	8	60	44		
NE 83rd St	166th Ave NE	167th Ave NE	8	0	11	0	11	0	0	60	30		
NE 85th St	Sammamish River	164th Ave NE	7	5	10.5	11	10.5	5	7	60	56		
NE 85th St	164th Ave NE	166th Ave NE	0	5	11	12	11	5	0	60	44		
NE 85th St	166th Ave NE	167th Ave NE	8	0	11	0	11	0	0	60	30		
NE 87th St	161st Ave NE	164th Ave NE	8	0	16	0	16	0	8	60	48		



Downtown Streets Cross Sections												
			Southbound/Westbound				Northbound/Eastbound					
			Street									
Street	From	To	On-Street Parking Width	Bike Lane Width	General Purpose Lanes Width	Median / Two Way Left Turn Lane Width	General Purpose Lanes Width	Bike Lanes Width	On-Street Parking Width	Mid-Block Right-of-Way Width	Curb-to-Curb Width	
NE 90th St	Sammamish River	161st Ave NE	0	5.5	22 (1)	0	22 (1)	5.5	0	82	55	
NE 90th St	161st Ave NE	164th Ave NE/ Red-Wood Rd	0	6	12	12	12	6	0	60	48	
Redmond Way	Sammamish River	160th Ave NE	0	0	24 (1)	12	24 (1)	0	0	102	60	
Redmond Way	160th Ave NE	168 <sup>th</sup> Ave NE	10	0	11	11	11	0	10	60	53	
Redmond Way	168th Ave NE	NE 76 <sup>th</sup> St	0	0	26 (1)	24 (2)	26 (1)	0	0	100	76	
Cleveland St	Redmond Way	Redmond Way	8	0	11	0	11	0	8	60	38	
Bear Creek Parkway	Redmond Way	Leary Way	8	0	11	12	11	0	8	60	42	
Bear Creek Parkway	Leary Way	Bear Creek Parkway/170th Ave NE	0	0	11	12	11	0	0	60	34	
Bear Creek Parkway	Bear Creek Parkway/170th Ave NE	Redmond Way	0	0	24	12	24	0	0	85	60	

(1) Width is taken up by two General Purpose lanes.

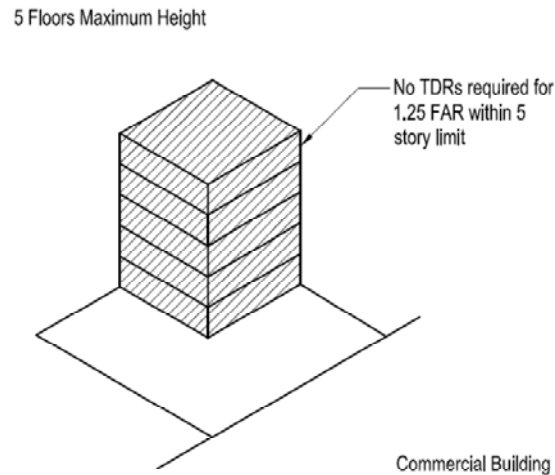
(2) Width is taken up by two turn lanes. Width may define business access and/or right-turn lanes.

## 21.10.160 Using Transfer of Development Rights (TDRs)

### (A) Maximum Floor Area Ratio and Use of TDRs.

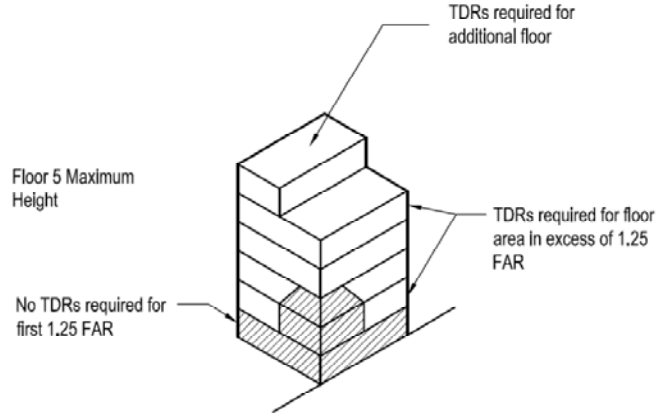
- (1) This section, in conjunction with the Allowed Uses and Basic Development Standards Tables in RZC 21.10.030 through RZC 21.10.100, above, sets a maximum floor area ratio (FAR) for all Downtown developments, unless additional floor area is transferred to the development through the TDR program authorized by RZC 21.48, Transfer of Development Rights Program [or through compliance with the Green Building Infrastructure Program, RZC 21.67](#). The maximum FAR applies to the gross floor area of all buildings on the site, excluding parking areas for motor vehicles that are not maintained as stock in trade. Requirements and examples are set forth in the following subsections.
- (2) A maximum FAR of 1.25 is the maximum development that can be achieved for nonresidential uses without purchasing TDRs [or compliance with the Green Building Program](#). All buildings shall be allowed a minimum of 10,000 square feet of gross floor area regardless of this maximum FAR. In Example 1 below, a five-story building with a 1.25 FAR is shown.

#### EXAMPLE 1



- (3) Additional FAR for commercial uses can be achieved by purchasing TDRs [or complying with a FAR bonus under the GBP](#) for the commercial floor area in excess of 1.25 FAR. Buildings may also add one floor beyond the five-story maximum building height by purchasing TDRs for height [or meeting the height bonus requirements under the GBP](#). Buildings may not exceed the maximum height limit in any height limit overlay established by the Zone Regulations, Division 20. In Example 2, the 1.25 FAR that can be achieved for commercial uses without TDRs [or GBP](#) is shaded, and the area that is not shaded shows both the additional commercial FAR that can be achieved with TDRs [or the GBP](#) within the five-story height limit and the additional sixth story that may be achieved with the purchase of TDRs [for height or complying with the height bonus provision under the GBP](#).

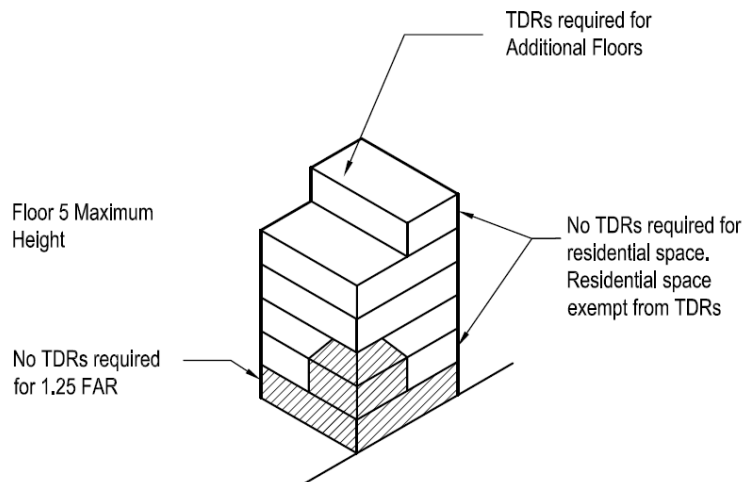
## EXAMPLE 2



Commercial Building

- (4) The purchase of TDRs [or compliance with the GBP](#) is not required for residential floor area within the maximum building height. In Example 3 below, the area that is not shaded represents residential floor area in a mixed use building. The shaded area represents the first 1.25 FAR that is exempt from the requirement to purchase TDRs [or compliance with the GBP](#). Where five stories is the maximum allowed height, a sixth story may be added with the purchase of TDRs [or complying with the GBP](#) for the additional floor area (one additional floor only), except where a height limit overlay would be established in the Allowed Uses and Basic Development Standards Tables in RZC 21.10.030 through RZC 21.10.100, and RZC 21.10.110(B), Height Limit Overlay, would prohibit a sixth floor.

## EXAMPLE 3



Mixed-Use Residential Building

## 21.10.170 References

For information on how to measure various site requirements like height and setbacks, see RZC 21.16 Site Requirements

21.20, Affordable Housing

Article II, Design Standards

21.32, Landscaping

21.34, Lighting

21.38, Outdoor Storage, Retail Display and Garbage and Recycling Enclosures

21.40, Parking

[21.67 Green Building and Green Infrastructure Incentive Program](#)

Article V, Land Division Regulations

Interjurisdictional Review

## RZC 21.12 Overlake

21.12.010	Overlake Village Purpose
21.12.020	OV Master Planning
21.12.030	OV Subarea Map
21.12.040	OV Zone 1
21.12.050	OV Zone 2
21.12.060	OV Zone 3
21.12.070	OV Zone 4
21.12.080	OV Zone 5
21.12.090	OV Floor Area
21.12.100	OV Building Height
21.12.110	OV Parking Standards
21.12.120	OV Residential Usable Open Space
21.12.130	OV Landscaping
21.12.140	OV Transitional Use Requirements
21.12.150	OV Street Cross Sections
21.12.160	OV Urban Pathway
21.12.170	OV Incentive Program
21.12.180	OBAT Purpose
21.12.190	OBAT Maximum Development Yield
21.12.200	OBAT Regulations Common to All Uses
21.12.210	OBAT Allowed Uses and Basic Development Standards
21.12.220	OBAT Capacity Phasing
21.12.230	References

### 21.12.010 Overlake Village Purpose

The purposes of the Overlake Village regulations are to:

- (A) Implement the vision and policies for Overlake Village zones set forth in the Redmond Comprehensive Plan;
- (B) Encourage a broad mix of multifamily residential and commercial uses and amenities in order to achieve a vibrant, engaging environment and a true urban center;
- (C) Provide for pedestrian-friendly and activating commercial uses on the ground floor of development located along arterials, while allowing residential uses on the ground floor of development along local streets;
- (D) Include housing in all future development;
- (E) Promote compact, walkable development forms that are conducive to transit use;
- (F) Provide improved connections for non-motorized and local vehicular travel;
- (G) Encourage use of environmentally sustainable site design and building features;
- (H) Encourage inclusion of retail, restaurants, professional offices, services and entertainment uses to meet needs of residents and employees, enliven the area after working hours, and contribute to a sense of place;
- (I) Allow additional building height and density where appropriate through an incentive program to facilitate provision of public and private infrastructure, green buildings, affordable housing, tree retention and open space, while still achieving sustainable, transit-supportive densities.

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### **21.12.020 Master Planning**

- (A) Master Plans are required in Overlake Village for all developments encompassing at least three acres and optional for sites under three acres. When a Master Plan has been approved by the City, site requirements and other development standards and regulations shall be administered on the basis of the area controlled by the approved Master Plan ("Plan Area"), rather than on a site-by-site basis, provided the approved Master Plan demonstrates the ability to comply with the requirement in question. For example, in the case of a development application for a site that is part of an area controlled by an approved master plan, if the plan designates the maximum lot coverage of structures and such areas are sufficient to meet maximum lot coverage requirements applied to the entire Plan Area, then an individual site plan need not demonstrate compliance with maximum lot coverage requirements.
- (B) Developments completing a Master Plan may increase the height of 50 percent of the buildings in the development by one floor.

### **21.12.030 OV Subarea Map**

- (A) Preferred land uses and development patterns are designated by five zones, the boundaries of which are delineated on the City's zoning map and the subarea map below.
- (B) Locations for new elements, such as streets, pathways, storm water facilities, parks, and plazas, are conceptual in nature, subject to refinement through the master planning or other planning process.

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Insert Map 12.1, Overlake Village Subarea

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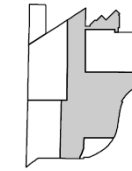
**21.12.040**

**OV Zone 1**

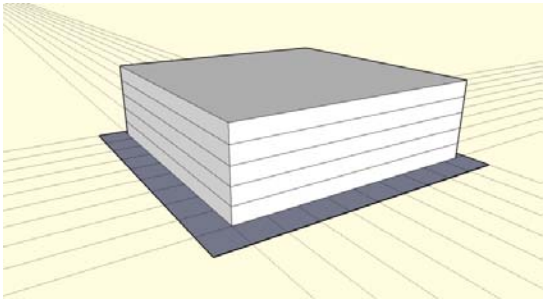
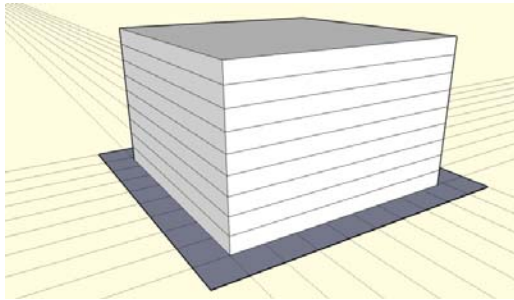
(A) Purpose. Zone 1 encompasses a majority of the eastern half of Overlake Village, including both sides of 152<sup>nd</sup> Avenue NE. Residential uses are emphasized here as part of mixed-use developments. The land within this zone offers a strong opportunity to attract residents to this area due to its location within the core and proximity to transit options and the employment center to the north.

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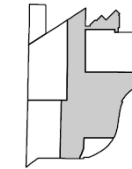
(B) Maximum Development Yield.

	Base	Bonuses Available, and Quantity	Maximum	Example of a 5-story building with FAR = 3.7	Example of 9-story building with FAR = 5.35
Floor area ratio (FAR)	3.7	TDRs <a href="#">or GBP: 0.05</a> Incentive Program: 1.69	5.35		
Height	5 stories	TDRs <a href="#">or GBP: 1 story</a> Incentive Program: 4 stories	9 stories		

(C) Allowed Uses and Basic Development Standards. The following table contains the basic zoning regulations that apply to uses in Zone 1. To use the chart, first read down the left-hand column titled "Use." When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require land use permit approval. See RZC 21.76.020, Overview of the Development Process, for more information. Uses not listed are not permitted.

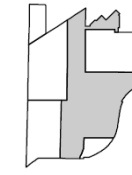
Section	Use	Maximum FAR				Min Residential Floor Area	Maximum Height			Max. Impervious Surface	Min. Landscaped Area	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Base	w/TDRs or GBP	w/50% residential	w/Incentive Program (IP)		Base	w/TDRs or GBP	w/IP				
<b>Residential</b>													
1	Multifamily Structure											Unit (1.0, 2.25) plus 1 guest space per 4 units for projects of 6 units or more	1. Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
2	Mixed-Use Residential											Bed (0.75, 0.75)	
3	Dormitory											Bedroom (0.5, 1.0)	
4	SRO												
5	Housing Services for the Elderly	2.5	2.5	2.5	4.0	50%	5	6	8	85%	15%	See Special Regulations	1. Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive. 2. Parking requirements are as follows: a. Multifamily housing for senior citizens: Unit (0.5, 2.0) b. Nursing home or long-term care facility: 4 patient beds (1.0, 1.0) c. Retirement residence with no skilled nursing facility: Unit (1.0, 1.0) d. Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25) 3. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.

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Section	Use	Maximum FAR				Min Residential Floor Area	Maximum Height			Max. Impervious Surface	Min. Landscaped Area	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Base	w/TDRs or GBP	w/50% residential	w/Incentive Program (IP)		Base	w/TDRs or GBP	w/IP				
<b>General sales or services</b>													
6	General Sales or Services	.36	.41	.41 or the amount of non-residential floor area existing as of December 11, 2007, whichever is greater	.55 or for those sites with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date	50%	4	5	8	85%	15%	1,000 SF GFA (2.0, 3.0)	<ol style="list-style-type: none"> <li>1. The following uses are not permitted:               <ol style="list-style-type: none"> <li>a. Gasoline service</li> <li>b. Outdoor automobile sales, rental or service</li> <li>c. Rental storage and mini-warehouses</li> </ol> </li> <li>2. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments.</li> <li>3. Limited to less than 75,000 square feet gross floor area in a single use.</li> <li>4. Shall be considered a transitional use if:               <ol style="list-style-type: none"> <li>a. Business is a consulting service, research and development service, office and administrative service, facilities support service, caterer, food service contractor, vending machine operator, provides services to buildings and dwellings, OR</li> <li>b. Less than 51% of a business's transactions are made with the general public, except for business support services.</li> </ol> </li> <li>5. See RZC 21.12.140, OV Transitional Use Requirements for transitional use requirements.</li> <li>6. Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</li> <li>7. Parking standards for restaurant uses:               <ol style="list-style-type: none"> <li>a. Sit-down restaurant: 1,000 SF GFA (9.0, 9.0)</li> <li>b. Take-out restaurant: 1,000 SF GFA (10.0, 10.0)</li> </ol> </li> <li>8. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.</li> </ol>
7	Hotels, Motels and Other Accommodation Services	1.2	1.2	1.2	1.35	50%	4	5	8	85%	15%	Rental room (1.0, 1.0)	<ol style="list-style-type: none"> <li>1. Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</li> </ol>
<b>Manufacturing and Wholesale Trade</b>													
8	Manufacturing and Wholesale Trade	.36	.41	.41 or the amount of non-residential floor area existing as of December 11, 2007, whichever is greater	.55 or for those sites with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date	50%	4	5	8	85%	15%	1,000 SF GFA (2.0, 3.0)	<ol style="list-style-type: none"> <li>1. Warehouse and storage services not permitted.</li> <li>2. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments.</li> <li>3. Shall be considered a transitional use. See RZC 21.12.140, OV Transitional Use Requirements for transitional use requirements.</li> <li>4. Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</li> </ol>
<b>Transportation, Communication, Information, and Utilities</b>													
9	Road, Ground Passenger	.36	.41	.41	.55	50%	4	5	8	85%	15%	1,000 SF GFA (2.0, 3.0)	<ol style="list-style-type: none"> <li>1. Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive</li> </ol>

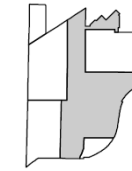
RZC 21.12: Overlake



Section	Use	Maximum FAR				Min Residential Floor Area	Maximum Height			Max. Impervious Surface	Min. Landscaped Area	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Base	w/TDRs or GBP	w/50% residential	w/Incentive Program (IP)		Base	w/TDRs or GBP	w/IP				
	and Transit Transportation			or the amount of non-residential floor area existing as of December 11, 2007, whichever is greater	or for those sites with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date							Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.	
10	Rapid charging station										Adequate to accommodate peak use	1. Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive. 2. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments.	
11	Battery exchange station												
12	Communications and Information										1,000 SF GFA (2.0, 3.0)	1. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments. 2. Shall be considered a transitional use if: a. Business is a software publisher or telecommunications and broadcasting; OR b. Less than 51% of a business's transactions are made with the general public, except for other publishing uses not listed above. 3. See RZC 21.12.140, OV Transitional Use Requirements for transitional use requirements. 4. Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.	
13	Local Utilities											1. Requires a conditional use permit if 40' in height or greater. See RZC 21.76.070(K), Conditional Use Permit. 2. Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.	
14	Regional Utilities					0%						1. Requires a conditional use permit. See RZC 21.76.070(K), Conditional Use Permit 2. Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.	
15	Large Satellite Dishes/Amateur Radio Antennas											1. See RZC 21.56, Wireless Communication Facilities 2. Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.	
16	Antenna Array and Base Station												
17	Antenna Support Structures											1. Requires a conditional use permit (See RZC 21.76.070(K), Conditional Use Permit) and must comply with RZC 21.56, Wireless Communication Facilities. 2. Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.	

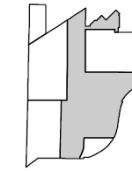
**Arts, Entertainment, and Recreation**

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Section	Use	Maximum FAR				Min Residential Floor Area	Maximum Height			Max. Impervious Surface	Min. Landscaped Area	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Base	w/TDRs or GBP	w/50% residential	w/Incentive Program (IP)		Base	w/TDRs or GBP	w/IP				
18	Arts, Entertainment, and Recreation	.36	.41	.41 or the amount of non-residential floor area existing as of December 11, 2007, whichever is greater	.55 or for those sites with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date	50%	4	5	8	85%	15%	1,000 SF GFA (2.0, 3.0)	Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
<b>Education, Public Administration, Health Care, and other Institutions</b>													
19	Education, Public Administration, Health Care, and other Institutions, except those listed below											See Special Regulations	<ol style="list-style-type: none"> <li>Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</li> <li>Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Administrator after considering the probable number of employees, etc.</li> </ol>
20	Health and Human Services	.36	.41	.41 or the amount of non-residential floor area existing as of December 11, 2007, whichever is greater	.55 or for those sites with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date	50%	4	5	8	85%	15%	1,000 SF GFA (2.0, 3.0)	<ol style="list-style-type: none"> <li>Shall be considered a transitional use if less than 51% of a business's transactions are made with the general public, except for child day care. See RZC 21.12.140, OV Transitional Use Requirements for transitional use requirements.</li> <li>Provisions for child day care: <ol style="list-style-type: none"> <li>Shall provide parking as follows: Employee on maximum shift (1.0, 1.0)</li> <li>Play equipment shall be located no less than 10 feet from any property line</li> <li>Shall not be located closer than 300 feet from existing day care operation in residential zone</li> </ol> </li> <li>Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</li> </ol>
21	Religious Institutions											<p>Assembly uses: 1,000 sq ft gfa (10.0, 10.0), or number of fixed seats (0.2, 0.2)</p> <p>Other uses: 1,000 sq ft gfa (2.0, 3.0)</p>	<ol style="list-style-type: none"> <li>Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</li> <li>A seat is one fixed seat or 18 inches on a pew or bench or seven square feet in the general assembly area (including aisle space, but excluding stage, podium, lobby, and space for musical instruments)</li> <li>Storage locations of buses/vans over 10,000 gvw shall be shown on a plan and screened from neighboring properties or right-of-way.</li> <li>Decorative fencing or decorative walls and landscaping on side or back lots are required when necessary to prevent visual impacts on neighboring properties and public shoreline areas.</li> <li>Steeple, bell towers, crosses or other symbolic religious icons mounted on the rooftop may exceed the maximum shoreline building height by 15 feet. (SMP)</li> <li>Maximum height for separate structures on-site such as bell towers, crosses, statuary, or other symbolic religious icons is 50 feet.</li> </ol>

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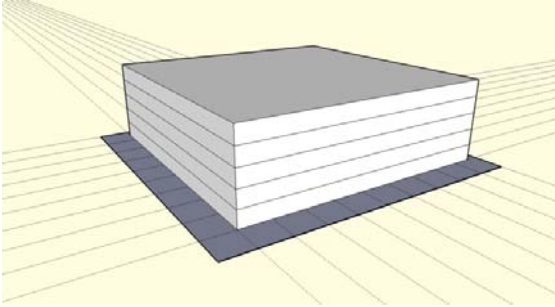
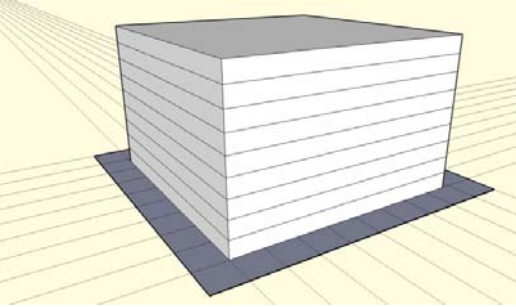
Section	Use	Maximum FAR				Min Residential Floor Area	Maximum Height			Max. Impervious Surface	Min. Landscaped Area	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Base	w/TDRs or GBP	w/50% residential	w/Incentive Program (IP)		Base	w/TDRs or GBP	w/IP				
												7. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.	
<b>Construction-Related Businesses</b>													
22	Construction-Related Businesses	.36	.41	.41 or the amount of non-residential floor area existing as of December 11, 2007, whichever is greater	.55 or for those sites with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date	50%	4	5	8	85%	15%	1,000 SF GFA (2.0, 3.0)	<ol style="list-style-type: none"> <li>Shall be considered a transitional use if use does not include a showroom open to the general public. See RZC 21.12.140, OV Transitional Use Requirements for transitional use requirements.</li> <li>Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</li> </ol>
<b>Other</b>													
23	Kiosk												<ol style="list-style-type: none"> <li>Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.</li> <li>Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act.</li> <li>Structures shall be secured to prevent tipping and endangering public safety.</li> <li>Maximum size is six feet wide by ten feet long.</li> <li>Administrative design review required for structures.</li> <li>Requires a conditional use permit if 750 seats or greater. See RZC 21.76.070(K), Conditional Use Permit</li> </ol>
24	Vending carts						1	1	1	85%	15%		



**21.12.050 OV Zone 2**

(A) Purpose. Two portions of Overlake Village are included in Zone 2: the land northwest of the NE 24<sup>th</sup> Street/151<sup>st</sup> Avenue NE intersection, and the area southeast of the NE 21<sup>st</sup> Street/152<sup>nd</sup> Avenue NE intersection. Commercial uses are emphasized here as part of mixed-use developments. These land areas are not as desirable for exclusively residential development due to their location along major arterials or near SR 520 and as such less housing is required in these areas than in Zone 1.

(B) Maximum Development Yield.

	Base	Bonuses Available, and Quantity	Maximum	Example of a 5-story building with FAR = 3.7	Example of 9-story building with FAR = 5.35
Floor area ratio (FAR)	3.7	TDRs <a href="#">or</a> <a href="#">GBP: 0.05</a> Incentive Program: 1.69	5.35		
Height	5 stories	TDRs <a href="#">or</a> <a href="#">GBP: 1 story</a> Incentive Program: 4 stories	9 stories		

(C) Allowed Uses and Basic Development Standards. The following table contains the basic zoning regulations that apply to uses in Zone 2. To use the chart, first read down the left-hand column titled "Use." When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require land use permit approval. See RZC 21.76.020, Overview of the Development Process, for more information. Uses not listed are not permitted.

Section	Use	Maximum FAR				Min Residential Floor Area	Maximum Height			Max. Impervious Surface	Min. Landscaped Area	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Base	<a href="#">w/TDRs or GBP</a>	w/25% residential	w/Incentive program (IP)		Base	<a href="#">w/TDRs or GBP</a>	w/IP				
<b>Residential</b>													
1	Multifamily Structure											Unit (1.0, 2.25) plus 1 guest space per 4 units for projects of 6 units or more	1. Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
2	Mixed-Use Residential	2.5	2.5	2.5	4.0	25%	5	6	8	85%	15%	Bed (0.75, 0.75)	
3	Dormitory											Bedroom (0.5, 1.0)	
4	SRO												



Section	Use	Maximum FAR				Min Residential Floor Area	Maximum Height			Max. Impervious Surface	Min. Landscaped Area	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Base	w/TDRs or GBP	w/25% residential	w/Incentive program (IP)		Base	w/TDRs or GBP	w/IP				
5	Housing Services for the Elderly											See Special Regulations	<ol style="list-style-type: none"> <li>Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</li> <li>Parking requirements are as follows:               <ol style="list-style-type: none"> <li>Multifamily housing for senior citizens: Unit (0.5, 2.0)</li> <li>Nursing home or long-term care facility: 4 patient beds (1.0, 1.0)</li> <li>Retirement residence with no skilled nursing facility: Unit (1.0, 1.0)</li> <li>Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25)</li> </ol> </li> <li>A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</li> </ol>
<b>General sales or services</b>													
6	General Sales or Services	.36	.41	.41 or the amount of non-residential floor area existing as of December 11, 2007, whichever is greater	.55 or for those sites with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date	25%	4	5	9	85%	15%	1,000 SF GFA (2.0, 3.0)	<ol style="list-style-type: none"> <li>The following uses are not permitted:               <ol style="list-style-type: none"> <li>Gasoline service;</li> <li>Outdoor automobile sales, rental or service; and</li> <li>Rental storage and mini-warehouses.</li> </ol> </li> <li>Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use residential developments.</li> <li>Requires a conditional use permit if greater than 150,000 SF GFA. See RZC 21.76.070(K), Conditional Use Permit</li> <li>Shall be considered a transitional use if:               <ol style="list-style-type: none"> <li>Business is a consulting service, research and development service, office and administrative service, facilities support service, caterer, food service contractor, vending machine operator or provides services to buildings and dwellings; OR</li> <li>Less than 51% of a business's transactions are made with the general public, except for business support services.</li> </ol> </li> <li>See RZC 21.12.140, OV Transitional Use Requirements for transitional use requirements.</li> <li>Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</li> <li>Parking standards for restaurant uses:               <ol style="list-style-type: none"> <li>Sit-down restaurant: 1,000 SF GFA (9.0, 9.0)</li> <li>Take-out restaurant: 1,000 SF GFA (10.0, 10.0)</li> </ol> </li> <li>The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.</li> </ol>
7	Hotels, Motels and Other Accommodation Services	1.2	1.2	1.2	1.35	25%	4	5	8	85%	15%	Rental room (1.0, 1.0)	<ol style="list-style-type: none"> <li>Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</li> </ol>
<b>Manufacturing and Wholesale Trade</b>													

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Section	Use	Maximum FAR				Min Residential Floor Area	Maximum Height			Max. Impervious Surface	Min. Landscaped Area	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Base	w/TDRs or GBP	w/25% residential	w/Incentive program (IP)		Base	w/TDRs or GBP	w/IP				
8	Manufacturing and Wholesale Trade	.36	.41	.41 or the amount of non-residential floor area existing as of December 11, 2007, whichever is greater	.55 or for those sites with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date	25%	4	5	9	85%	15%	1,000 SF GFA (2.0, 3.0)	<ol style="list-style-type: none"> <li>Warehouse and storage services not permitted.</li> <li>Shall not be materially detrimental in terms of noise, emissions, vibrations, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments.</li> <li>Shall be considered a transitional use. See RZC 21.12.140, OV Transitional Use Requirements for transitional use requirements.</li> <li>Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</li> </ol>
<b>Transportation, Communication, Information, and Utilities</b>													
9	Road, Ground Passenger and Transit Transportation	.36	.41	.41 or the amount of non-residential floor area existing as of December 11, 2007, whichever is greater	.55 or for those sites with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date	25%	4	5	9	85%	15%	1,000 SF GFA (2.0, 3.0)	<ol style="list-style-type: none"> <li>Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</li> </ol>
10	Rapid charging station											Adequate to accommodate peak use	<ol style="list-style-type: none"> <li>Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</li> <li>Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments.</li> </ol>
11	Battery exchange station												
12	Communications and Information											1,000 SF GFA (2.0, 3.0)	<ol style="list-style-type: none"> <li>Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments.</li> <li>Shall be considered a transitional use if:               <ol style="list-style-type: none"> <li>Business is a software publisher or telecommunications and broadcasting; OR</li> <li>Less than 51% of a business's transactions are made with the general public, except for other publishing uses not listed above.</li> </ol> </li> <li>See RZC 21.12.140, OV Transitional Use Requirements for transitional use requirements.</li> <li>Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</li> </ol>
13	Local Utilities												
14	Regional Utilities												
15	Large Satellite					0%						Adequate to accommodate peak use	<ol style="list-style-type: none"> <li>Requires a conditional use permit if 40' in height or greater. See RZC 21.76.070(K), Conditional Use Permit</li> <li>Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</li> </ol>
													<ol style="list-style-type: none"> <li>See RZC 21.56, Wireless Communication Facilities.</li> </ol>

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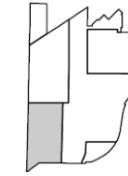
Section	Use	Maximum FAR				Min Residential Floor Area	Maximum Height			Max. Impervious Surface	Min. Landscaped Area	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Base	w/TDRs or GBP	w/25% residential	w/Incentive program (IP)		Base	w/TDRs or GBP	w/IP				
	Dishes/Amateur Radio Antennas												2. Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.  1. Requires a conditional use permit (See RZC 21.76.070(K), Conditional Use Permit) and must comply with RZC 21.56, Wireless Communication Facilities. 2. Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
16	Antenna Array and Base Station												
17	Antenna Support Structure												
<b>Arts, Entertainment, and Recreation</b>													
18	Arts, Entertainment, and Recreation	.36	.41	.41 or the amount of non-residential floor area existing as of December 11, 2007, whichever is greater	.55 or for those sites with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date	25%	4	5	8	85%	15%	1,000 SF GFA (2.0, 3.0)	1. Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
<b>Education, Public Administration, Health Care, and other Institutions</b>													
19	Education, Public Administration, Health Care and other Institutions, except those listed below											See Special Regulations	1. Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive. 2. Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Administrator after considering the probable number of employees, etc
20	Health and Human Services	.36	.41	.41 or the amount of non-residential floor area existing as of December 11, 2007, whichever is greater	.55 or for those sites with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date	25%	4	5	8	85%	15%	1,000 SF GFA (2.0, 3.0)	1. Shall be considered a transitional use if less than 51% of a business's transactions are made with the general public, except for child day care. See RZC 21.12.140, OV Transitional Use Requirements for transitional use requirements. 2. Provisions for child day care: a. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0) b. Play equipment shall be located no less than 10 feet from any property line c. Shall not be located closer than 300 feet from existing day care operation in residential zone 3. Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
21	Religious Institutions											Assembly uses:	1. Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive

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Section	Use	Maximum FAR				Min Residential Floor Area	Maximum Height			Max. Impervious Surface	Min. Landscaped Area	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Base	w/TDRs or GBP	w/25% residential	w/Incentive program (IP)		Base	w/TDRs or GBP	w/IP				
											1,000 sq ft gfa (10.0, 10.0), or number of fixed seats (0.2, 0.2)  Other uses: 1,000 sq ft gfa (2.0, 3.0)	Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive. 2. A seat is one fixed seat or 18 inches on a pew or bench or seven square feet in the general assembly area (including aisle space, but excluding stage, podium, lobby, and space for musical instruments) 3. Storage locations of buses/vans over 10,000 gvw shall be shown on a plan and screened from neighboring properties or right-of-way. 4. Decorative fencing or decorative walls and landscaping on side or back lots are required when necessary to prevent visual impacts on neighboring properties and public shoreline areas. 5. Steeples, bell towers, crosses or other symbolic religious icons mounted on the rooftop may exceed the maximum shoreline building height by 15 feet. (SMP) 5. Maximum height for separate structures on-site such as bell towers, crosses, statuary, or other symbolic religious icons is 50 feet. 6. Requires a conditional use permit if 750 seats or greater. See RZC 21.76.070(K), Conditional Use Permit 7. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.	
<b>Construction-Related Businesses</b>													
22	Construction-Related Businesses	.36	.41	.41 or the amount of non-residential floor area existing as of December 11, 2007, whichever is greater	.55 or for those sites with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date	25%	4	5	8	85%	15%	1,000 SF GFA (2.0, 3.0)	1. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments. 2. Shall be considered a transitional use if use does not include a showroom open to the general public. See RZC 21.12.140, OV Transitional Use Requirements for transitional use requirements. 3. Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
<b>Other</b>													
23	Kiosk												1. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access. 2. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act. 3. Structures shall be secured to prevent tipping and endangering public safety. 4. Maximum size is six feet wide by ten feet long. 5. Administrative design review required for structures.
24	Vending carts						1	1	1	85%	15%		

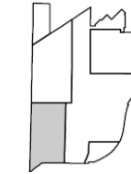
RZC 21.12: Overlake



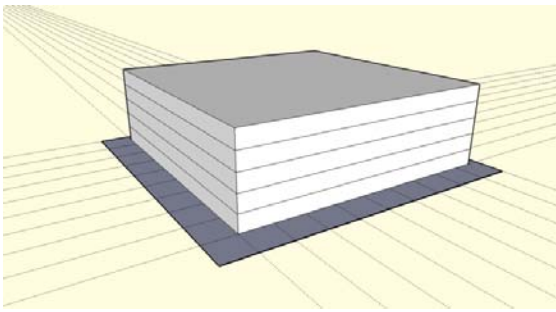
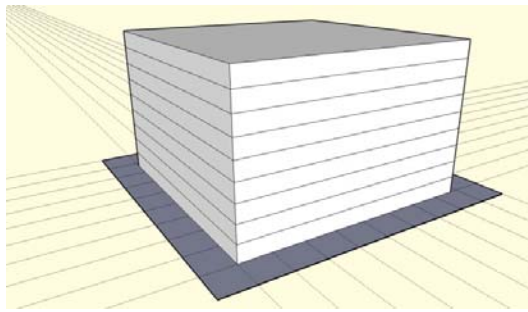
**21.12.060 OV Zone 3**

(A) Purpose. Zone 3 encompasses a majority of the southwest quadrant of the Overlake Village, except for the land bordering 152<sup>nd</sup> Avenue NE. Regional retail is emphasized here as part of mixed-use developments. This land area has the highest visibility and is located along this zone's highest trafficked corridors.

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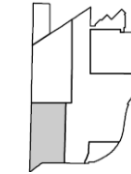
(B) Maximum Development Yield.

	Base	Bonuses Available, and Quantity	Maximum	Example of a 5-story building with FAR = 3.7	Example of 9-story building with FAR = 5.35
Floor area ratio (FAR)	3.7	TDRs <a href="#">or GBP: 0.05</a> Incentive Program: 1.69	5.35		
Height	5 stories	TDRs <a href="#">or GBP: 1 story</a> Incentive Program: 4 stories	9 stories		

(C) Allowed Uses and Basic Development Standards. The following table contains the basic zoning regulations that apply to uses in Zone 3. To use the chart, first read down the left-hand column titled "Use." When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require land use permit approval. See RZC 21.76.020, Overview of the Development Process, for more information. Uses not listed are not permitted.

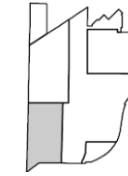
Section	Use	Maximum FAR				Min Residential Floor Area	Maximum Height			Max. Impervious Surface	Min. Landscaped Area	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Base	<a href="#">w/TDRs or GBP</a>	w/25% residential	w/Incentive Program (IP)		Base	<a href="#">w/TDRs or GBP</a>	w/IP				
<b>Residential</b>													
1	Multifamily Structure	2.5	2.5	2.5	4.0	25%	5	6	9	85%	15%	Unit (1.0, 2.25) plus 1 guest space per 4 units for projects of 6 units or more	
2	Mixed-Use Residential											Bed (0.75, 0.75)	
3	Dormitory											Bedroom (0.5, 1.0)	
4	SRO												
5	Housing Services for the Elderly											See Special Regulations	1. Parking requirements are as follows: <ol style="list-style-type: none"> <li>Multifamily housing for senior citizens: Unit (0.5, 2.0)</li> <li>Nursing home or long-term care facility: 4 patient beds (1.0, 1.0)</li> <li>Retirement residence with no skilled nursing facility: Unit (1.0, 1.0)</li> <li>Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25)</li> </ol> 2. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.
<b>General sales or services</b>													

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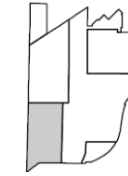
Section	Use	Maximum FAR				Min Residential Floor Area	Maximum Height			Max. Impervious Surface	Min. Landscaped Area	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Base	w/TDRs or GBP	w/25% residential	w/Incentive Program (IP)		Base	w/TDRs or GBP	w/IP				
6	General Sales or Services	.36	.41	.41 or the amount of non-residential floor area existing as of December 11, 2007, whichever is greater	.55 or for those sites with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date	25%	4	5	9	85%	15%	1,000 SF GFA (2.0, 3.0)	<ol style="list-style-type: none"> <li>1. The following uses are not permitted:               <ol style="list-style-type: none"> <li>a. Gasoline service;</li> <li>b. Outdoor automobile sales and service;</li> <li>c. Rental storage and mini-warehouses.</li> </ol> </li> <li>2. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments.</li> <li>3. Automobile rental requires a conditional use permit (see RZC 21.76.070(K), Conditional Use Permit) and must comply with the following provisions:               <ol style="list-style-type: none"> <li>a. Shall not abut any residential zone</li> <li>b. Rental uses operating in mixed-use developments are limited to eight rental vehicles at any given time in existing parking spaces; additional vehicles may be stored on-site in a building or elsewhere given submittal and approval by the Technical Committee of a vehicle storage plan.</li> <li>c. Vehicle display area shall be outside of required parking and landscape areas.</li> <li>d. Vehicles shall be stored on paved surfaces.</li> <li>e. Advertising signs are not permitted on the outside of vehicles. Signs providing information about the vehicle such as year, make, model, etc. may be displayed on the outside of or in the windows of vehicles.</li> <li>f. Outdoor loudspeaker systems are prohibited.</li> <li>g. Razor wire, chain link, and barbed wire fences prohibited on street or access frontage.</li> <li>h. Vehicle repair shall be conducted indoors.</li> </ol> </li> <li>4. Requires a conditional use permit if greater than 150,000 SF GFA. See RZC 21.76.070(K), Conditional Use Permit</li> <li>5. Shall be considered a transitional use if:               <ol style="list-style-type: none"> <li>a. Business is a consulting service, research and development service, office and administrative service, facilities support service, caterer, food service contractor, vending machine operator or provides services to buildings and dwellings; OR</li> <li>b. Less than 51% of a business's transactions are made with the general public, except for business support services.</li> </ol> </li> <li>6. See RZC 21.12.140, OV Transitional Use Requirements for transitional use requirements.</li> <li>7. Parking standards for restaurant uses:               <ol style="list-style-type: none"> <li>a. Sit-down restaurant: 1,000 SF GFA (9.0, 9.0)</li> <li>b. Take-out restaurant: 1,000 SF GFA (10.0, 10.0)</li> </ol> </li> <li>8. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.</li> </ol>
7	Hotels, Motels and Other Accommodation Services	1.2	1.2	1.2	1.35	25%	4	5	9	85%	15%	Rental room (1.0, 1.0)	
<b>Manufacturing and Wholesale Trade</b>													
8	Manufacturing and Wholesale Trade	.36	.41	.41 or the amount of non-residential	.55 or for those sites with an	25%	4	5	9	85%	15%	1,000 SF GFA (2.0, 3.0)	<ol style="list-style-type: none"> <li>1. Warehouse and storage services not permitted.</li> <li>2. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments.</li> <li>3. Shall be considered a transitional use. See RZC 21.12.140, OV Transitional Use Requirements</li> </ol>

RZC 21.12: Overlake



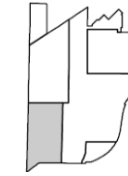
Section	Use	Maximum FAR				Min Residential Floor Area	Maximum Height			Max. Impervious Surface	Min. Landscaped Area	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Base	w/TDRs or GBP	w/25% residential	w/Incentive Program (IP)		Base	w/TDRs or GBP	w/IP				
				floor area existing as of December 11, 2007, whichever is greater	FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date								for transitional use requirements.
<b>Transportation, Communication, Information, and Utilities</b>													
9	Road, Ground Passenger and Transit Transportation	.36	.41	.41 or the amount of non-residential floor area existing as of December 11, 2007, whichever is greater	.55 or for those sites with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date	25%	4	5	9	85%	15%	1,000 SF GFA (2.0, 3.0)	
10	Rapid charging station											Adequate to accommodate peak use	1. Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive. 2. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments.
11	Battery exchange station												
12	Communications and Information											1,000 SF GFA (2.0, 3.0)	1. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments. 2. Shall be considered a transitional use if: a. Business is a software publisher or telecommunications and broadcasting; OR b. Less than 51% of a business's transactions are made with the general public, except for other publishing uses not listed above. 3. See RZC 21.12.140, OV Transitional Use Requirements for transitional use requirements.
13	Local Utilities												Requires a conditional use permit if 40' in height or greater. See RZC 21.76.070(K), Conditional Use Permit
14	Regional Utilities												
15	Large Satellite Dishes/Amateur Radio Antennas											Adequate to accommodate peak use	See RZC 21.56, Wireless Communication Facilities.
16	Antenna Array and Base station												
17	Antenna Support Structures		Requires a conditional use permit (See RZC 21.76.070(K), Conditional Use Permit) and must comply with RZC 21.56, Wireless Communication Facilities.										
<b>Arts, Entertainment, and Recreation</b>													
18	Arts, Entertainment, and Recreation	.36	.41	.41 or the amount of	.55 or for those sites	25%	4	5	9	85%	15%	1,000 SF GFA (2.0, 3.0)	

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Section	Use	Maximum FAR				Min Residential Floor Area	Maximum Height			Max. Impervious Surface	Min. Landscaped Area	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Base	w/TDRs or GBP	w/25% residential	w/Incentive Program (IP)		Base	w/TDRs or GBP	w/IP				
				non-residential floor area existing as of December 11, 2007, whichever is greater	with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date								
<b>Education, Public Administration, Health Care, and other Institutions</b>													
19	Education, Public Administration, Health Care, and other Institutions, except those listed below											See Special Regulations	1. Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Administrator after considering the probable number of employees, etc
20	Health and Human Services			.41 or the amount of non-residential floor area existing as of December 11, 2007, whichever is greater	.55 or for those sites with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date	25%	4	5	9	85%	15%	1,000 SF GFA (2.0, 3.0)	1. Shall be considered a transitional use if less than 51% of a business's transactions are made with the general public, except for child day care. See RZC 21.12.140, OV Transitional Use Requirements for transitional use requirements. 2. Provisions for child day care: a. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0) b. Play equipment shall be located no less than 10 feet from any property line c. Shall not be located closer than 300 feet from existing day care operation in residential zone
21	Religious Institutions	.36	.41	.41 or the amount of non-residential floor area existing as of December 11, 2007, whichever is greater	.55 or for those sites with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date	25%	4	5	9	85%	15%	Assembly uses: 1,000 sq ft gfa (10.0, 10.0), or number of fixed seats (0.2, 0.2)  Other uses: 1,000 sq ft gfa (2.0, 3.0)	1. A seat is one fixed seat or 18 inches on a pew or bench or seven square feet in the general assembly area (including aisle space, but excluding stage, podium, lobby, and space for musical instruments) 2. Storage locations of buses/vans over 10,000 gvw shall be shown on a plan and screened from neighboring properties or right-of-way. 3. Decorative fencing or decorative walls and landscaping on side or back lots are required when necessary to prevent visual impacts on neighboring properties and public shoreline areas. 4. Steeples, bell towers, crosses or other symbolic religious icons mounted on the rooftop may exceed the maximum shoreline building height by 15 feet. (SMP) 5. Maximum height for separate structures on-site such as bell towers, crosses, statuary, or other symbolic religious icons is 50 feet. 6. Requires a conditional use permit if 750 seats or greater. See RZC 21.76.070(K), Conditional Use Permit 7. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.
<b>Construction-Related Businesses</b>													

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Section	Use	Maximum FAR				Min Residential Floor Area	Maximum Height			Max. Impervious Surface	Min. Landscaped Area	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Base	w/TDRs or GBP	w/25% residential	w/Incentive Program (IP)		Base	w/TDRs or GBP	w/IP				
22	Construction-Related Businesses	.36	.41	.41 or the amount of non-residential floor area existing as of December 11, 2007, whichever is greater	.55 or for those sites with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date	25%	4	5	9	85%	15%	1,000 SF GFA (2.0, 3.0)	<ol style="list-style-type: none"> <li>1. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments.</li> <li>2. Shall be considered a transitional use if use does not include a showroom open to the general public. See RZC 21.12.140, OV Transitional Use Requirements for transitional use requirements.</li> </ol>
<b>Other</b>													
23	Kiosk												<ol style="list-style-type: none"> <li>1. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.</li> <li>2. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act.</li> <li>3. Structures shall be secured to prevent tipping and endangering public safety.</li> <li>4. Maximum size is six feet wide by ten feet long.</li> <li>5. Administrative design review required for structures.</li> </ol>
24	Vending carts						1	1	1	85%	15%		

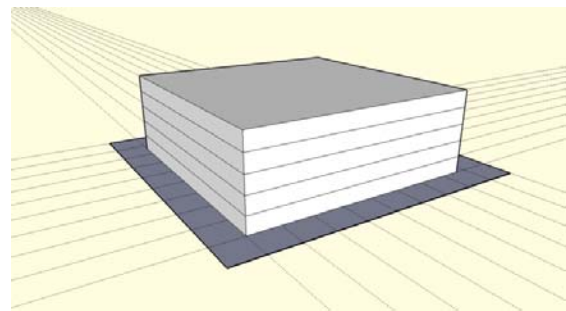
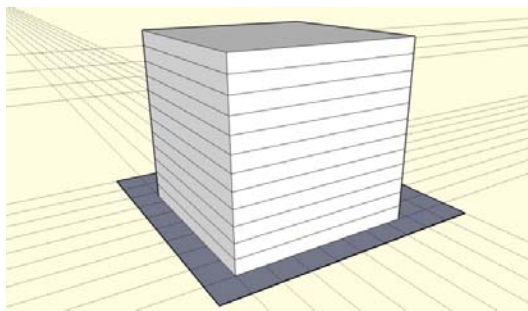




**21.12.070 OV Zone 4**

(A) Purpose. Zone 4 provides for redevelopment of a unique 28-acre, sloped site located at the core of the Overlake Village. This site is intended to provide a compact, mixed-use development with substantial residential development, as well as employment, retail and services, which are integrated with a major urban neighborhood public park that provides a central gathering place through plazas and green spaces. The substantial residential component is intended to achieve a site that is active during the day and during the evening, supports retail and other commercial space that is developed on the site, and supports the site as a transit-oriented place. For that reason, a 50 percent minimum residential floor area requirement is established. With its central location and proximity to major employers, the site is well-suited for pedestrian- and transit-supportive development. The design and development of this district will be controlled by a Master Plan. The Master Plan ensures that development here carries out the vision for Overlake.

(B) Maximum Development Yield.

	Base	Bonuses Available, and Quantity	Maximum	Example of a 5-story building with FAR = 2.9	Example of 12-story building with FAR = 5.2
Floor area ratio (FAR)	2.9	TDRs or GBP: 0.05 Incentive Program: 2.25	5.2		
Height	5 stories	TDRs or GBP: 0.05 Incentive Program: 6 stories	12 stories		

(C) Allowed Uses and Basic Development Standards. The following table contains the basic zoning regulations that apply to uses in Zone 4. To use the chart, first read down the left-hand column titled "Use." When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require land use permit approval. See RZC 21.76.020, Overview of the Development Process, for more information. Uses not listed are not permitted.

Section	Use	Maximum FAR			Min Residential Floor Area	Maximum Height			Max. Impervious Surface	Min. Landscaped Area	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Base	w/TDRs or GBP	w/Incentive Program (IP)		Base	w/TDRs or GBP	w/IP				
<b>Residential</b>												
1	Multifamily Structure										Unit (1.0, 2.25) plus 1 guest space per 4 units for projects of 6 units or more	1. An applicant may use an alternate method to calculate the 50 percent minimum residential floor area requirement for a proposed Master Plan. If used, the alternative method shall be described in a Development Agreement for the proposed Master Plan, and shall meet the intent of the 50 percent residential floor area requirement, which is described above in RZC 12.12.070(A), Purpose. 2. Height not to exceed 125' through Overlake Village Incentive Program.
2	Mixed-Use Residential	2.5	2.5	4.0	50%	5	6	12	85%	20%	Bed (0.75, 0.75)	
3	Dormitory										Bedroom (0.5, 1.0)	
4	SRO											



Section	Use	Maximum FAR			Min Residential Floor Area	Maximum Height			Max. Impervious Surface	Min. Landscaped Area	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Base	w/TDRs or GBP	w/Incentive Program (IP)		Base	w/TDRs or GBP	w/IP				
5	Housing Services for the Elderly										See Special Regulations	<ol style="list-style-type: none"> <li>Height not to exceed 125' through Overlake Village Incentive Program.</li> <li>Parking requirements are as follows:               <ol style="list-style-type: none"> <li>Multifamily housing for senior citizens: Unit (0.5, 2.0)</li> <li>Nursing home or long-term care facility: 4 patient beds (1.0, 1.0)</li> <li>Retirement residence with no skilled nursing facility: Unit (1.0, 1.0)</li> <li>Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25)</li> </ol> </li> <li>A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</li> </ol>
<b>General sales or services</b>												
6	General Sales or Services	.4	.47	1.0	50%	4	5	10	85%	20%	1,000 SF GFA (2.0, 3.0)	<ol style="list-style-type: none"> <li>The following uses are not permitted:               <ol style="list-style-type: none"> <li>Gasoline service;</li> <li>Outdoor automobile sales, rental and service;</li> <li>Rental storage and mini-warehouses.</li> </ol> </li> <li>Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments.</li> <li>Limited to less than 75,000 square feet gross floor area in a single use.</li> <li>Height not to exceed 126' through Overlake Village Incentive Program.</li> <li>The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.</li> <li>Parking standards for restaurant uses:               <ol style="list-style-type: none"> <li>Sit-down restaurant: 1,000 SF GFA (9.0, 9.0)</li> <li>Take-out restaurant: 1,000 SF GFA (10.0, 10.0)</li> </ol> </li> <li>Parking for the following uses may be reduced as described below provided the Technical Committee finds there is sufficient data and analysis upon which the reduction is based to demonstrate that adequate parking will be provided, including shared parking:               <ol style="list-style-type: none"> <li>Parking for sit-down and carry-out restaurants may be reduced to not less than 2 spaces per 1,000 square feet gross floor area;</li> <li>Parking for restaurants, cafes or delis with less than 750 square feet gross floor area may be reduced to zero spaces.</li> </ol> </li> </ol>
7	Hotels, Motels and Other Accommodation Services	.4	.47	1.0	50%	4	5	12	85%	20%	Rental room (1.0, 1.0)	<ol style="list-style-type: none"> <li>Height not to exceed 135' through Overlake Village Incentive Program.</li> </ol>
<b>Manufacturing and Wholesale Trade</b>												
8	Manufacturing and Wholesale Trade	.4	.47	1.0	50%	4	5	10	85%	20%	1,000 SF GFA (2.0, 3.0)	<ol style="list-style-type: none"> <li>Wholesale trade establishments and warehouse and storage services not permitted.</li> <li>Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments.</li> <li>Height not to exceed 126' through Overlake Village Incentive Program.</li> </ol>
<b>Transportation, Communication, Information, and Utilities</b>												
9	Road, Ground Passenger	.4	.47	1.0	50%	4	5	10	85%	20%	1,000 SF GFA	<ol style="list-style-type: none"> <li>Height not to exceed 126' through Overlake Village Incentive Program.</li> </ol>

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Section	Use	Maximum FAR			Min Residential Floor Area	Maximum Height			Max. Impervious Surface	Min. Landscaped Area	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Base	w/TDRs or GBP	w/Incentive Program (IP)		Base	w/TDRs or GBP	w/IP				
	and Transit Transportation									(2.0, 3.0)		
10	Rapid charging station									Adequate to accommodate peak use	1. Height not to exceed 126' through Overlake Village Incentive Program. 2. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments.	
11	Battery exchange station											
12	Communications and Information									1,000 SF GFA (2.0, 3.0)	1. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments. 2. Height not to exceed 126' through Overlake Village Incentive Program.	
13	Local Utilities										1. Requires a conditional use permit if 40' in height or greater. See RZC 21.76.070(K), Conditional Use Permit	
14	Regional Utilities										2. Height not to exceed 126' through Overlake Village Incentive Program.	
15	Large Satellite Dishes/Amateur Radio Antennas				0%						1. See RZC 21.56, Wireless Communication Facilities. 2. Height not to exceed 126' through Overlake Village Incentive Program.	
16	Antenna Array and Base Station											
17	Antenna Support Structures										1. Requires a conditional use permit (See RZC 21.76.070(K), Conditional Use Permit) and must comply with RZC 21.56, Wireless Communication Facilities. 2. Height not to exceed 126' through Overlake Village Incentive Program.	
<b>Arts, Entertainment, and Recreation</b>												
18	Arts, Entertainment, and Recreation	.4	.47	1.0	50%	4	5	10	85%	20%	1,000 SF GFA (2.0, 3.0)	1. Height not to exceed 126' through Overlake Village Incentive Program.
<b>Education, Public Administration, Health Care, and other Institutions</b>												
19	Education, Public Administration, Health Care, and other Institutions, except those listed below	.4	.47	1.0	50%	4	5	10	85%	20%	See Special Regulations	1. Religious institutions not permitted. 2. Height not to exceed 126' through Overlake Village Incentive Program. 3. Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Administrator after considering the probable number of employees, etc
20	Health and Human Services	.4	.47	1.0	50%	4	5	10	85%	20%	1,000 SF GFA (2.0, 3.0)	1. Provisions for child day care: a. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0) b. Play equipment shall be located no less than 10 feet from any property line c. Shall not be located closer than 300 feet from existing day care operation in residential zone 2. Height not to exceed 126' through Overlake Village Incentive Program.
<b>Construction-Related Businesses</b>												
21	Construction-Related Businesses	.4	.47	1.0	50%	4	5	10	85%	20%	1,000 SF GFA (2.0, 3.0)	1. Shall include a showroom open to the general public. 2. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments. 3. Height not to exceed 126' through Overlake Village Incentive Program.
<b>Other</b>												



Section	Use	Maximum FAR			Min Residential Floor Area	Maximum Height			Max. Impervious Surface	Min. Landscaped Area	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Base	w/TDRs or GBP	w/Incentive Program (IP)		Base	w/TDRs or GBP	w/IP				
22	Kiosk											
23	Vending carts				1	1	1	85%	15%		<ol style="list-style-type: none"> <li>1. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.</li> <li>2. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act.</li> <li>3. Structures shall be secured to prevent tipping and endangering public safety.</li> <li>4. Maximum size is six feet wide by ten feet long.</li> <li>5. Administrative design review required for structures.</li> </ol>	

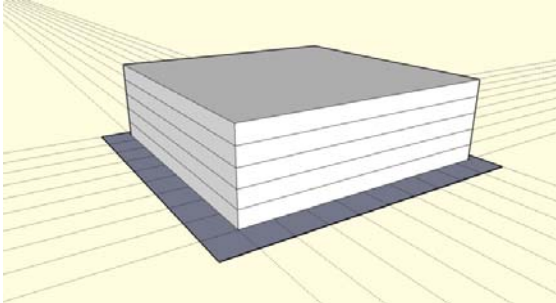
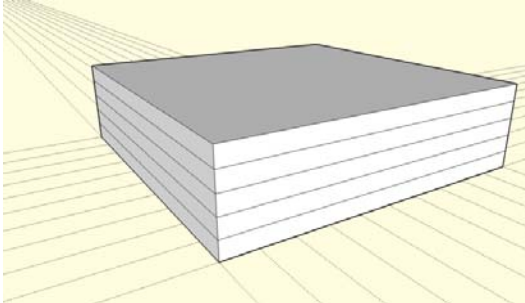
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**21.12.080 OV Zone 5**

(A) Purpose. Zone 5 is located north of the SR 520 interchange and encompasses approximately 1.7 acres of the Overlake Village. Commercial uses are emphasized here due to the site's location next to the freeway interchange, highly trafficked arterial, and the immediately surrounding employment campuses. Residential uses are permitted but not required.

(B) Maximum Development Yield.

	Base	Bonuses Available, and Quantity	Maximum	Example of a 5-story building with FAR = 3.7	Example of 5-story building with FAR = 5
Floor area ratio (FAR)	3.7	Incentive Program: 1.3	5		
Height	5 stories	None in this example	5 stories		

(C) Allowed Uses and Basic Development Standards. The following table contains the basic zoning regulations that apply to uses in Zone 5. To use the chart, first read down the left-hand column titled "Use." When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require land use permit approval. See RZC 21.76.020, Overview of the Development Process, for more information. Uses not listed are not permitted.

Section	Use	Maximum FAR			Min Residential Floor Area	Maximum Height			Max. Impervious Surface	Min. Landscaped Area	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Base	w/TDRs or GBP	w/Incentive Program (IP)		Base	w/TDRs or GBP	w/IP				
<b>Residential</b>												
1	Multifamily Structures										Unit (1.0, 2.25) plus 1 guest space per 4 units for projects of 6 units or more	
2	Mixed-Use Residential	2.5	2.5	4.0	0%	5	5	5	85%	15%	Bed (0.75, 0.75)	
3	Dormitory										Bedroom (0.5, 1.0)	
4	SRO											



Section	Use	Maximum FAR			Min Residential Floor Area	Maximum Height			Max. Impervious Surface	Min. Landscaped Area	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Base	w/TDRs or GBP	w/Incentive Program (IP)		Base	w/TDRs or GBP	w/IP				
5	Housing Services for the Elderly										See Special Regulations	1. Parking requirements are as follows: <ol style="list-style-type: none"> <li>Multifamily housing for senior citizens: Unit (0.5, 2.0)</li> <li>Nursing home or long-term care facility: 4 patient beds (1.0, 1.0)</li> <li>Retirement residence with no skilled nursing facility: Unit (1.0, 1.0)</li> <li>Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25)</li> </ol> 2. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.
<b>General sales or services</b>												
6	General Sales or Services	.36	.41	.55	0%	4	5	5	85%	15%	1,000 SF GFA (2.0, 3.0)	1. The following uses are not permitted: <ol style="list-style-type: none"> <li>Gasoline service;</li> <li>Outdoor automobile sales, rental or service; and</li> <li>Rental storage and mini-warehouses.</li> </ol> 2. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments.           3. Limited to less than 75,000 square feet gross floor area in a single use.           4. Shall be considered a transitional use if: <ol style="list-style-type: none"> <li>Business is a consulting service, research and development service, office and administrative service, facilities support service, caterer, food service contractor, vending machine operator, or provides services to buildings and dwellings; OR</li> <li>Less than 51% of a business's transactions are made with the general public, except for business support services.</li> </ol> 5. See RZC 21.12.140, OV Transitional Use Requirements for transitional use requirements.           6. Parking standards for restaurant uses: <ol style="list-style-type: none"> <li>Sit-down restaurant: 1,000 SF GFA (9.0, 9.0)</li> <li>Take-out restaurant: 1,000 SF GFA (10.0, 10.0)</li> </ol> 7. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.
7	Hotels, Motels and Other Accommodation Services	1.2	1.2	1.35	0%	4	5	5	85%	15%	Rental room (1.0, 1.0)	
<b>Manufacturing and Wholesale Trade</b>												
8	Manufacturing and Wholesale Trade	.36	.41	.55	0%	4	5	5	85%	15%	1,000 SF GFA (2.0, 3.0)	1. Warehouse and storage services not permitted.           2. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments.           3. Shall be considered a transitional use. See RZC 21.12.140, OV Transitional Use Requirements for transitional use requirements.
<b>Transportation, Communication, Information, and Utilities</b>												
9	Road, Ground Passenger	.36	.41	.55	0%	4	5	5	85%	15%	1,000 SF GFA	

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Section	Use	Maximum FAR			Min Residential Floor Area	Maximum Height			Max. Impervious Surface	Min. Landscaped Area	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Base	w/TDRs or GBP	w/Incentive Program (IP)		Base	w/TDRs or GBP	w/IP				
	and Transit Transportation										(2.0, 3.0)	
10	Rapid charging station										Adequate to accommodate peak use	1. Maximum building height of 9 stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive. 2. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments.
11	Battery exchange station										Adequate to accommodate peak use	1. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments. 2. Shall be considered a transitional use if: a. Business is a software publisher or telecommunications and broadcasting; OR b. Less than 51% of a business's transactions are made with the general public, except for other publishing uses not listed above. 3. See RZC 21.12.140, OV Transitional Use Requirements for transitional use requirements.
12	Communications and Information										1,000 SF GFA (2.0, 3.0)	1. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments. 2. Shall be considered a transitional use if: a. Business is a software publisher or telecommunications and broadcasting; OR b. Less than 51% of a business's transactions are made with the general public, except for other publishing uses not listed above. 3. See RZC 21.12.140, OV Transitional Use Requirements for transitional use requirements.
13	Local Utilities											Requires a conditional use permit if 40' in height or greater. See RZC 21.76.070(K), Conditional Use Permit
14	Regional Utilities											Requires a conditional use permit. See RZC 21.76.070(K), Conditional Use Permit
15	Large Satellite Dishes/Amateur Radio Antennas											See RZC 21.56, Wireless Communication Facilities
16	Antenna Array and Base Station											Requires a conditional use permit (See RZC 21.76.070(K), Conditional Use Permit) and must comply with RZC 21.56, Wireless Communication Facilities.
17	Antenna Support Structures											Requires a conditional use permit (See RZC 21.76.070(K), Conditional Use Permit) and must comply with RZC 21.56, Wireless Communication Facilities.
<b>Arts, Entertainment, and Recreation</b>												
18	Arts, Entertainment, and Recreation	.36	.41	.55	0%	4	5	5	85%	15%	1,000 SF GFA (2.0, 3.0)	
<b>Education, Public Administration, Health Care, and other Institutions</b>												
19	Education, Public Administration, Health Care, and other Institutions, except those listed below											See Special Regulations 1. Religious Institutions not permitted. 2. Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Administrator after considering the probable number of employees, etc
20	Health and Human Services	.36	.41	.55	0%	4	5	5	85%	15%	1,000 SF GFA (2.0, 3.0)	1. Shall be considered a transitional use if less than 51% of a business's transactions are made with the general public, except for child day care. See RZC 21.12.140, OV Transitional Use Requirements for transitional use requirements. 2. Provisions for child day care: a. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0) b. Play equipment shall be located no less than 10 feet from any property line c. Shall not be located closer than 300 feet from existing day care operation in residential zone

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Section	Use	Maximum FAR			Min Residential Floor Area	Maximum Height			Max. Impervious Surface	Min. Landscaped Area	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Base	w/TDRs or GBP	w/Incentive Program (IP)		Base	w/TDRs or GBP	w/IP				

Construction-Related Businesses												
21	Construction-Related Businesses	.36	.41	.55	0%	4	5	5	85%	15%	1,000 SF GFA (2.0, 3.0)	Shall be considered a transitional use if use does not include a showroom open to the general public. See RZC 21.12.140, OV Transitional Use Requirements for transitional use requirements.
Other												
22	Kiosk											1. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access. 2. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act. 3. Structures shall be secured to prevent tipping and endangering public safety. 4. Maximum size is six feet wide by ten feet long. 5. Administrative design review required for structures.
23	Vending carts					1	1	1	85%	15%		

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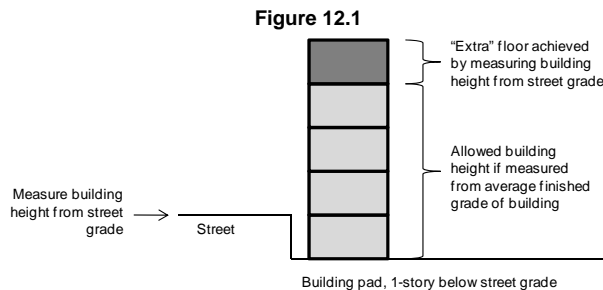


### 21.12.090 OV Floor Area

- (A) All legal lots are allowed the greater of either the maximum allowed FAR or 10,000 square feet of buildings provided all other applicable site requirements are met.
- (B) The FAR for nonresidential and residential uses within a given development are individually calculated and may be added together for a cumulative total, provided that the respective maximum FAR for each use is not exceeded, unless otherwise provided for.
- (C) Floor area ratio calculations shall be based on the gross site area prior to any provision of space for public amenities.
- (D) Development in Overlake shall be subject to the provision of BROTS, as originally executed to cap commercial development at a total of 15.4 million square feet through 2012.

### 21.12.100 OV Building Height

- (A) Height Tradeoff. The maximum building height on a site may be exceeded when building height reductions are required at building edges, along a street or park, to achieve better design and stepped building height through the land use permit process. The amount of floor area that is allowed to exceed the prescribed maximum building height (without use of bonuses or transfer of development rights) shall not exceed the floor area that was removed or omitted to create the stepped building facade and shall not exceed one additional floor above the prescribed maximum building height.
- (B) In areas where an adjacent public or private street will be more than one story above the ground floor elevation of a building because of topography (such as the southwest corner of NE 90th Street and Redmond-Woodinville Road), building height may be measured from the grade of the higher public or private street, instead of from average finished grade of the building. Building height as measured from the grade of the public or private street shall not exceed maximum building height (including bonuses, if any), and the entire site shall comply with applicable FAR limits. See Figure 12.1 below.



- (C) To achieve an appropriate transition between major public streets and development interior to Zone 4, maximum building height within 50 feet of the rights-of-way of 152nd Avenue NE and 156th Avenue NE shall be six stories measured from the closest edge of the property to the right-of-way. Bonuses or transferred development rights may not be used to exceed this limit.

### 21.12.110 OV Parking Standards

- (A) Developments may provide parking in excess of the maximum allowed parking standard shown in RZC 21.12.040 through 21.12.080, OV Zones 1 through 5, provided the excess parking is also available at all times to the general public, and there is signage at the facility to inform users which parking stalls are available for public use.
- (B) Alternative parking standards may be specified in a City-approved Master Plan or site plan when a change is supported by the Overlake Parking Management Plan, a City review of parking in one or more Overlake zones, or a property owner-initiated parking analysis.

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- (C) Curbside parking on public streets within a development site may count toward up to 25 percent of the required off-street parking. When all or part of the street right-of-way is dedicated by the development site property owner or a predecessor in title, curbside parking shall be fully counted toward satisfaction of the off-street parking requirement. Curbside parking on 152nd Avenue NE or 156th Avenue NE shall not be counted toward off-street parking. Curbside parking on private streets that are part of the development site shall be fully counted toward satisfaction of the required off-street parking requirement.

### **21.12.120 OV Residential Usable Open Space**

- (A) General Requirement. The minimum residential usable open space requirement establishes the minimum percentage of a development that must be set aside to provide usable open space for residents. Every development that includes residences shall provide usable open space in an amount equal to or greater than 6.25 percent of the gross residential floor area.
- (B) Alternatives for configuration of the total amount of usable open space.
  - (1) Common open space is open space that is open to all residents. It includes landscaped courtyards or decks, gardens with pathways, children's play areas, and other multi-purpose recreational or green spaces. Except for rooftop open space, it may be used to meet 100 percent of the usable open space requirement.
  - (2) Common open space shall be large enough to provide functional leisure or recreational activity as determined by the Technical Committee. The average minimum dimension shall be 20 feet, with no dimension less than 12 feet.
  - (3) Private open space is open space that is not open to all residents. It includes balconies, patios and other multi-purpose recreational or green spaces. It may be used to meet up to 50 percent of the usable open space requirement. Private open spaces shall be at least 50 square feet, with no dimension less than five feet.
  - (4) Rooftop open space may be used to meet up to 50 percent of the usable open space requirement, except for rooftop open space described in subsection (e) below.
  - (5) In some circumstances, a rooftop may be accessible from street grade because of significant slopes on a site. In such instances, rooftop open space built at street grade and open to the general public may be used to meet 100 percent of the usable open space requirement.
- (C) Combining Usable Open Space and Pedestrian Access. Parking areas, driveways and pedestrian access other than pedestrian access required by Washington State Rules and Regulations for Barrier-Free Design shall not be counted as usable open space, except any pedestrian path or walkway traversing through the open space if the total width of the common usable open space is 18 feet or wider.

### **21.12.130 OV Landscaping**

- (A) General Requirement. All setbacks, buffers, open spaces, pervious surfaces, plazas, parks, site and building entrances, pedestrian walkways, service areas and parking lots shall be landscaped with plant materials. Existing vegetation may be maintained and apply toward this standard if the existing vegetation meets the landscaping requirements of this section, is healthy, and is likely to survive development. The requirements specified in RZC 21.32, Landscaping and Natural Screening, shall apply except to the extent that they conflict with landscaping practices appropriate to an urban center. In addition, supplemental landscaping requirements for Overlake Village are defined below.
- (B) Plantings along streets. At a minimum, planting strips along streets shall include street trees per the City's standards for type and species. Where space allows, planting areas should include other vegetation suitable for an urban setting. Tree planting pits on streets that include furniture zones per RZC 21.12.150 OV Street Cross Sections shall be covered with cast iron tree grates of a type that meets ADA requirements.
- (C) Open Space and Plazas.

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- (1) Plazas and common usable open spaces shall be landscaped to create visual interest by providing a variety of colors, heights, and forms of foliage, soften building edges, and reduce the impact of elements such as noise or wind.
- (2) The quantity of trees, shrubs and other plant materials shall be designed to meet the size and function of the plaza or open space.

(D) Zone 5 Buffers.

- (1) Properties in Zone 5 shall provide a landscape buffer at least 20 feet in width along street frontages where any portion of the street bordering the development site borders a residential zone within a neighboring jurisdiction.
- (2) The buffers shall be planted with the following materials:
  - (a) Minimum of one tree per 200 square feet of buffer area. No more than 40 percent of trees may be deciduous.
  - (b) Evergreen shrubs, a minimum of five gallon in size. The area covered by the shrubs shall equal at least one-third of the buffer frontage.
  - (c) Groundcover plantings to cover the ground within three years.
  - (d) Plant materials shall be drought tolerant and at least 50 percent native species by area.
  - (e) Trees and other plant materials required by this section shall be located so that they effectively buffer the development from bordering residential properties. The buffer need not completely obscure the development; rather it should screen it.
- (3) Up to 20 percent of the buffer area may be used for streets, driveways, utility crossings, trails or ground level features such as patios. Other structures may not be placed in required buffers.
- (4) Buffers may be counted towards required open space, required pervious surfaces, setbacks and other requirements in the Use and Bulk Regulations that they meet.

**21.12.140 OV Transitional Use Requirements**

- (A) Purpose. The purpose of this section is to provide for the transition of properties consistent with the adopted vision and plan for Overlake Village as a multi-story mixed-use/residential urban neighborhood. This section is intended to ensure fairness to existing uses and property owners while also recognizing that the eventual redevelopment of these properties is consistent with and carries out the City's adopted goals, policies and plans.
- (B) Transitional uses indicated in the Use and Bulk Regulation Tables in Sections 30, 40, 50 and 70 shall:
  - (1) Only be located within the building footprint existing on any property as of December 11, 2007;
  - (2) Not exceed 25,000 square feet gross floor area; and
  - (3) Together with other transitional uses on the property, not comprise more than 70 percent of the total floor area for the buildings existing on the property under the ownership of record as of December 11, 2007.
- (C) The desirability of allowing transitional uses to continue shall be reviewed prior to December 12, 2012, and every five years after that, at a minimum, in order to determine whether allowing such uses to continue is compatible with the vision for Overlake. Unless City Council amends these regulations to prohibit transitional uses as the result of the review, the uses shall continue for an additional five years. If City Council amends these regulations to prohibit the transitional uses, all such uses with a Redmond business license located in Overlake Village zone at the time of the amendment shall become legal nonconforming uses. A transitional use located within Overlake Village zone that becomes a legal nonconforming use shall be allowed to expand consistent with the conditions outlined in (1) above. If a legal nonconforming use vacates the premises in which it is located, the use may be replaced by any other transitional use that was allowed by the code as adopted on December 11, 2007.

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## 21.12.150 OV Street Cross Sections

### (A) Guidelines for Application.

- (1) The Technical Committee shall review and approve each component of the street cross section on a project by project basis and has the authority to alter street cross section widths and uses, including utility locations.
- (2) Street cross section widths apply at the middle of the block.
  - (a) The widths and existence of each component may vary at intersections, as determined by the Technical Committee.
  - (b) Intersection design shall be based upon the Pedestrian Program Plan and Bicycle System Plan chapters of the TMP, the Bicycle Facilities Design Manual, the City's Construction Specifications and Design Standards for Streets and Access, and any corridor study adopted by the City Council for the street(s) in question.
- (3) Provisions of medians and left turn lane access shall be determined on a project-by-project basis, based on traffic speeds, volumes and collision history and using recognized engineering standards such as those published by AASHTO, ITE, or other recognized authority.
- (4) Utilities, such as power, telephone and cable, shall be placed under the sidewalk.
- (5) When designing multimodal corridors refer to the Modal Integration section of Transportation Master Plan. Corridors shall support all modes.
- (6) Improvements less than 30 inches above grade, including decks, patios, walks and driveways are permitted in setbacks. Fences, landscaping, flagpoles, street furniture, transit shelters and slope stability structures are permitted in setback areas, provided that all other applicable requirements are met. No other structures, including accessory structures, are permitted in setback areas.

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**Insert Map # 12.2. Street Cross Section Location Map-Overlake**

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(C) Site Requirements by Cross Section.

(1) The table below describes street cross section requirements for some streets in Overlake Village shown on Map 12.2. Other street cross sections are described in the table in subsection (2) of this section.

Street Cross Section															Building Placement	Building Use	Notes
Street																	
Southbound/Westbound				Northbound/Eastbound													
Cross Section	Total right-of-way	Sidewalk	5' Planting Strip or 4' Furniture Zone with Tree Grates	On-Street Parking	Bike Lane	GP Lanes	Median / Two Way Left Turn Lane	GP Lanes	Bike Lanes	On Street Parking	5' Planting Strip or 4' Furniture Zone with Tree Grates	Sidewalk	Build-To Line (Front and Side Street)	Setback line (Side and Rear)	Ground Floor Uses		
A	90	8	5	0	0	24	12	24	0	0	5	12	10	0	Residences prohibited. Offices or recreational areas associated with residential uses allowed.	1. Separate multi-use path parallel to corridor. 2. Street section shared by Bellevue and Redmond. 3. Outside GP lane 13'. Inside GP lane 11'.	
B	86	8	5	0	0	24	12	24	0	0	5	8	1	0	Residences prohibited. Offices or recreational areas associated with residential uses allowed.	Outside GP lane 13'. Inside GP lane 11'.	
E	82	8	5	0	0	22	12	22	0	0	5	8	2-8	0	Residences prohibited. Offices or recreational areas associated with residential uses allowed.		
F	89	6	5	0	5.5	22	12	22	5.5	0	5	6	1	0	Residences prohibited. Offices or recreational		

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<p style="text-align: center;">TYPICAL CROSS SECTION</p>																			
Street Cross Section														Building Placement		Building Use		Notes	
Southbound/Westbound				Northbound/Eastbound															
Ped. Zone		Street						Ped. Zone		Ground Floor Uses									
Cross Section	Total right-of-way	Sidewalk	5' Planting Strip or 4' Furniture Zone with Tree Grates	On-Street Parking	Bike Lane	GP Lanes	Median / Two Way Left Turn Lane	GP Lanes	Bike Lanes					On Street Parking	5' Planting Strip or 4' Furniture Zone with Tree Grates	Sidewalk	Build-To Line (Front and Side Street)	Setback line (Side and Rear)	
														areas associated with residential uses allowed.					

(2) The table below describes street cross section requirements for some streets in Overlake Village shown on Map 12.2. Other street cross sections are described in the table in subsection (1) of this section.

Street type	Total right-of-way (feet)	Description of Street	Ground Floor Uses	Notes

Retail street	100	This is an urban main street that is intended to be the linear core within Overlake Village and attract significant numbers of people to multiple activities. It is intended to include within the mix of uses at street level restaurants, retail, cultural and entertainment uses, personal services and similar businesses that are pedestrian oriented. Key features of the street cross section include: one vehicle travel lane in each direction with turn lanes as necessary; wide sidewalks; protected bikeways; and curbside parking.	Pedestrian-oriented uses required; residential uses prohibited.	Design details are located in Appendix 7 of the Redmond Zoning Code.
Neighborhood street	88	This street creates a green connection between the light rail station, Overlake Village open spaces, and the rest of the neighborhood. Street level uses are expected to include a mix of residential and pedestrian-oriented commercial uses. Key features of the street cross section include: one vehicle travel lane in each direction; wide sidewalks; bicycle lanes; urban pathway; and curbside parking.		Design details are located in Appendix 7 of the Redmond Zoning Code.
Access street	75	These streets provide local access and areas for driveways and loading. Key features of the street cross section include: one vehicle travel lane in each direction with turn lanes as necessary; wide sidewalks; urban pathway and bicycle lanes (some segments); and curbside parking.		Design details are located in Appendix 7 of the Redmond Zoning Code.
Plaza street	57	This street fronts the Overlake Village light rail station and is adjacent to a future public plaza. Key features of the street cross section include: one vehicle travel lane in each direction; pedestrian zones that blend with the plaza, street, and station; low vehicle speeds; and light rail passenger pick-up and drop-off opportunities.		Design details are located in Appendix 7 of the Redmond Zoning Code.



(D) Ground Floor Uses.

- (1) General Requirement. Ground floor uses are established in RZC 21.12.150(C) Site Requirements by Cross Section. This section establishes requirements regarding ground floor uses specified in the chart.
- (2) Pedestrian-Oriented Use Requirements. Where pedestrian-oriented ground-floor uses are required, the following requirements must be met, in addition to the design requirements found in Article III, Design Standards.
  - (a) A minimum of 50 percent of the linear sidewalk-level facade shall be occupied by pedestrian-oriented uses and should be continuous; and,
  - (b) Up to 50 percent of the linear sidewalk-level frontage may be designed to accommodate future conversion to pedestrian-oriented uses. Any uses other than residential may be permitted until conversion of the space.
- (3) In locations where ground floor residential units are permitted, either:
  - (a) The units shall be set back a minimum of 10 feet from the back of the required setback zone, or
  - (b) All living areas with windows shall be elevated above the street grade at least three feet.
  - (c) The Administrator may consider alternative design solutions that retain resident privacy while enhancing the pedestrian environment on the sidewalk.

**21.12.160 OV Urban Pathway**

- (A) As properties are developed, corresponding portions of the urban pathway shown on Map 12.1, Overlake Village Subarea Map, shall be installed by the property owner/developer. In the event that the Technical Committee determines that installation should be delayed to accommodate a more comprehensive planned future improvement of the urban pathway, the property owner/developer shall pay the cost of the installation to the City in lieu of installation. In order to provide flexibility, the actual alignment shall be determined through the Site Plan Entitlement process.
- (B) The improvements shall include a 12-foot-wide concrete path with eight feet of landscaping on both sides as part of a 28-foot corridor with pedestrian lighting and connections to existing or planned plazas or open spaces. The Technical Committee may approve alternatives to concrete if site or design conditions warrant. Where the pathway follows existing or planned streets or extends along retail storefronts, the corridor width may be reduced through the Site Plan Entitlement process.
- (C) The landscaping shall include a combination of trees, shrubs and other plant materials to enhance visual interest and create a park-like quality along the pathway. A landscaping plan shall be submitted to and approved by the Technical Committee and may provide for varying types and quantities of landscaping along the pathway to provide compatibility with the adjoining land use. For example, the landscaping could include more shrubs and groundcover and fewer trees where visibility of retail storefronts is needed.

**21.12.170 OV Incentive Program**

- (A) Purpose. The purpose of this section is to enhance the character and overall livability of Overlake Village. The incentive program does this by incentivizing features that implement neighborhood goals and respond to needs for public amenities, housing opportunities, and environmental sustainability. The incentive program reduces the cost of these features by allowing increased building height and floor area, as well as additional permitted uses. This section also indicates the City's priorities for provision of these desired features.

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(B) Features and Incentives.

- (1) Table 1 of this section indicates high priority features and maximum incentives available in each Zone. Table 2 of this section indicates additional bonus features and incentives. Following the tables, subsection D explains the features in detail.
- (2) In order for sites to qualify for development incentives the applicant must provide the applicable feature(s) described in Table 1: Priority Features and Incentives.
- (3) An applicant may provide additional features from Table 1 or 2 to qualify for additional development incentives. The same land area may not be used to qualify for two bonus features. For example, an applicant whose site is shown for a major park on Map 12.1, Overlake Village Subarea Map, and who satisfies that requirement must provide additional space for an outdoor plaza in order to receive additional development incentives.

(C) Restrictions.

- (1) Features provided through this program for parks, stormwater facilities or plazas may not be counted toward satisfaction of the minimum usable open space requirements in RZC 21.12.120, OV Residential Usable Open Space.
- (2) Transfer of Development Rights may not be used to exceed the maximum building height allowed through this program.

**Table 1  
Priority Features and Incentives**

	<b>Priority Feature</b>	<b>Applicable Zones</b>	<b>Maximum Incentive Per Feature</b>
1.	Regional Stormwater Management Facility	1 and 2 as indicated on map	Three additional stories for all residential buildings in the development,  Four additional stories for all commercial buildings in the development,  Additional 1.5 FAR for residential uses, and  Additional 0.19 FAR for commercial uses.
2.	Major Park	4	Three additional stories for all residential buildings in the development,  Four additional stories for all commercial buildings in the development,  Additional 1.5 FAR for residential uses, and  Additional 0.15 FAR for commercial uses.
3.	Plaza Dedication	1, 2, 3, 4, 5	One additional story for 50 percent of the buildings in the development
4.	Plaza Improvement	1, 2, 3, 4, 5	One of the following:  Additional 1.5 FAR for residential uses, or  Additional 0.15 FAR for commercial and hotel uses, or  One additional story for 50 percent of the buildings in

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<b>Table 1 Priority Features and Incentives</b>		
<b>Priority Feature</b>	<b>Applicable Zones</b>	<b>Maximum Incentive Per Feature</b>
		<p>the development, or</p> <p>Expanded list of nonresidential land uses to include uses considered transitional in RZC 21.12.040 through 21.12.060 and 21.12.080, OV Zones 1 through 3 and 5. Only available if required residential development per RZC 21.12.040 through 21.12.070, OV Zones 1 through 4 has been constructed.</p>

<b>Table 2 Additional Features and Incentives</b>		
<b>Additional Features</b>	<b>Applicable Zones</b>	<b>Maximum Incentive Per Feature</b>
5. Green Building or Development	1, 2, 3, 4, 5	<p>One additional story for each building designed and constructed to meet the certification described in 150-030, and</p> <p>Expanded list of nonresidential land uses to include uses considered transitional in RZC 21.12.040 through 21.12.060 and 21.12.080, OV Zones 1 through 3 and 5. Only available if required residential development per RZC 21.12.040 through 21.12.070, OV Zones 1 through 4 has been constructed.</p>
6. Residential Uses Above Minimum Required	1, 2, 3, 4	One additional story for all buildings in the development.
7. Below-Grade Parking	1, 2, 3, 4, 5	<p>One additional story for all buildings in the development,</p> <p>Additional 1.5 FAR for residential uses,</p> <p>Additional 0.15 FAR for commercial uses, and</p> <p>Expanded list of nonresidential land uses to include uses considered transitional in RZC 21.12.040 through 21.12.060 and 21.12.080, OV Zones 1 through 3 and 5. Only available if required residential development per RZC 21.12.040 through 21.12.070, OV Zones 1 through 4 has been constructed.</p>
8. Combination Below-Grade and Wrapped Structured Parking	1, 2, 3, 4, 5	Select one of the incentives offered for Feature 7
9. Affordable Housing Above Minimum Required.	1, 2, 3, 4, 5	<p>Additional residential floor area at 2.5 times the equivalent floor area for each affordable unit provided above the minimum requirement of 10 percent of the total dwellings, up to a maximum total residential FAR of 3.75.</p> <p>The bonus residential floor area may be used to increase building height by up to one story.</p>

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<b>Table 2</b>			
<b>Additional Features and Incentives</b>			
	<b>Additional Features</b>	<b>Applicable Zones</b>	<b>Maximum Incentive Per Feature</b>
10.	Full service hotel/conference center:	4	Two additional stories for full service hotel/conference center buildings; and  Additional .20 FAR for commercial development.
11.	Transit Oriented Development	4	One additional story for commercial buildings and two additional stories for residential and full service hotel/conference center buildings; and  Additional .25 FAR for commercial development; and.  Additional .75 FAR for residential development.  Undeveloped transit-oriented development bonus FAR may be transferred from one site to another site that satisfies the criteria for the bonus.

(D) Features Explained.

- (1) Regional Stormwater Management Facility: Dedicate 2 to 4 acres of land to the City of Redmond for use as a regional stormwater management facility. Map 12.3 indicates properties to which this provision applies.

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**Insert Map 12.3-Regional Stormwater Facilities map**

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- (2) Major Park: Provide a minimum of 2.5 acres of land that is accessible and welcoming to the public as an urban park and open space.
- (a) May be in one or two open space areas, with one of the spaces a minimum of 1.5 acres in size to provide sufficient size for informal recreation. If provided in two areas, these spaces shall be contiguous or connected by a pathway which promotes a clear visual connection and relationship between the spaces. The pathway shall be designed at a minimum to meet the requirements of RZC 21.12.160, OV Urban Pathway. Visual connection may be achieved through proximity of the spaces or through enhanced design treatments along the pathway which enable pedestrians to readily perceive the connection between the spaces.
  - (b) The intended character of the open space(s) is to:
    - (i) Include a balance of open lawn and trees,
    - (ii) Include hard surfaces such as plazas as well as soft surfaces (lawns),
    - (iii) Provide a central gathering place and a place that can be programmed, such as for concerts,
    - (iv) Include space for refuge as well as space for active recreation such as small play areas,
    - (v) Help serve needs for a variety of ages, from children through seniors, and
    - (vi) Be located either near 152<sup>nd</sup> Avenue NE or provide a clear connection to 152<sup>nd</sup> Avenue NE through at least one pathway.
  - (c) The City and applicant shall establish an agreement regarding the design, funding and timing for completion of improvements for this park. The completion of improvements for this park shall be commensurate with the progress on the construction of the development.
  - (d) The space shall be dedicated to the City of Redmond or be subjected to covenants or other legally binding provisions mutually agreed upon by the property owner and City to assure the property is open and accessible to the public.
- (3) Plaza dedication. Provide a minimum of 5 percent of the gross site area, an equivalent fee in lieu based on fair market value, or a combination of land and fee for the purpose of providing space for an outdoor plaza.
- (a) The space shall be dedicated to the City of Redmond or be subject to covenants or other legally binding provisions mutually agreed upon by the property owner and City to assure the property is open and accessible to the public.
  - (b) The Technical Committee shall review and determine whether proposed sites qualify for plaza locations based on considerations including:
    - (i) Consistency of the proposed location with the preferred vicinities shown in RZC 21.12.030, OV Subarea Map,
    - (ii) The suitability of the proposed location for an outdoor plaza, and
    - (iii) Opportunities to create an open space of greater value by locating this space in conjunction with other open spaces, such as those required in RZC 21.12.120, OV Residential Usable Open Space.
- (4) Plaza Improvement. Applicants may seek additional incentives for completion of plaza improvements to provide a space that is accessible and welcoming to the public. These applicants shall submit a plan which shows landscaping, lighting, seating, color and materials, relationship to building frontage, and relationship to and coordination with the pedestrian system, addressing at a minimum the design requirements specified in RZC 21.62.030(J), Pedestrian Plazas and Open Spaces. Proposed improvements shall be reviewed and approved by the Technical Committee.

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- (5) Green Building or Development. Minimum of LEED Silver Certification, or comparable Built Green or other certification as determined by the Technical Committee
- (6) Residential Uses above minimum required. Provide and maintain at least 75 percent of the total gross floor area for the development in residential uses in Zones 1 and 4, and at least 50 percent in Zones 2 and 3.
- (7) Below Grade Parking. At least 60 percent of off-street parking for the development is located below grade.
- (8) Combination Below-Grade and Wrapped Structured Parking. At least 60 percent of off-street parking for the development is located in parking structures, some or all of which may be above-grade, provided above-grade parking structures do not have frontage on 152<sup>nd</sup> Avenue NE, 156<sup>th</sup> Avenue NE, public park space or a public pedestrian pathway system, and have ground level retail or other pedestrian-oriented uses incorporated into the structure where it is adjacent to other public streets so that none of the parking structure fronts on the ground level in these areas. This bonus applies only in locations where this standard is not otherwise required by RZC 21.62.030(D), Parking Garage Design.
- (9) Affordable housing above minimum required. Provide a minimum of 20 percent of the total dwellings in the development as affordable as defined by RZC 21.78, Definitions.
- (10) Full Service Hotel/Conference Center. Include land area dedicated to a full service hotel/conference center as defined by RZC 21.78, Definitions.
- (11) Transit-Oriented Development. Provide transit-oriented development that:
  - (a) Is located within 2,500 feet of a transit station or stop served by light rail, bus rapid transit or other high-capacity transit service. The transit station or stop for the transit-oriented development bonus may be in existence, or may be planned for construction, provided it is fully funded and is scheduled to be open for service within two years of the date of occupancy of the structure that utilizes the increase in FAR;
  - (b) Will be connected with the transit station or stop by sidewalks, crosswalks and/or pathways which afford convenient pedestrian access; and
  - (c) Will include 1,000 or more residential units as a component of a mixed-use district.

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**21.12.180 OBAT Purpose**

The purpose of the Overlake Business and Advanced Technology Zone is to:


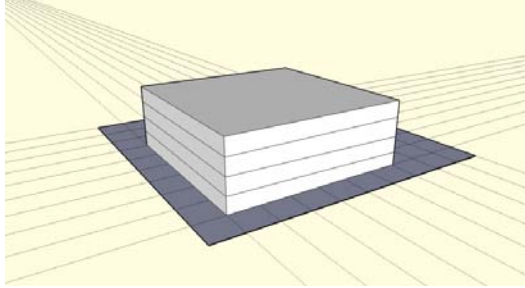
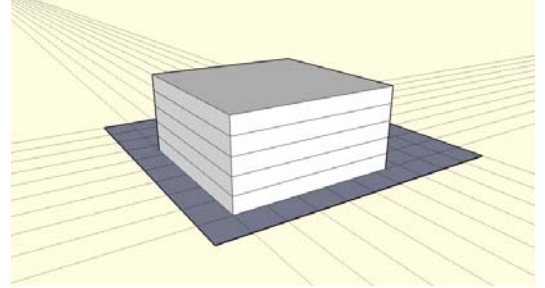
- (A) Implement the vision and policies for the Overlake Business and Advanced Technology zone set forth in the Redmond Comprehensive Plan;
- (B) Provide a high wage employment area that accommodates advanced technology, research and development, corporate offices, high technology manufacturing and similar uses to serve City and regional economic goals;
- (C) Maintain a campus-like environment with significant areas of trees and open spaces;
- (D) Provide for a low to moderate intensity of development to match available public facilities;
- (E) Enhance compatibility between the uses in this zone and neighboring residential areas;
- (F) Encourage walking, bicycling, carpools, vanpools, and transit use; and
- (G) Provide opportunities for multifamily residential development and limited convenience commercial and service uses to help reduce motor vehicle trips in the area by serving employees from nearby businesses.

**21.12.190 OBAT Maximum Development Yield**

	Base	Bonuses Available, and Quantity	Maximum		
Floor area ratio (FAR)	1.47	None in this example	1.47	Example of a 4-story building with FAR = 1.47	Example of 5-story building with FAR = 1.47

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<p>Height</p> 	<p>4 stories</p>	<p>TDRs <u>or</u>  <u>GBP</u>: 1  story</p>	<p>5 stories</p>		
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**21.12.200 OBAT Regulations Common to All Uses**

(A) Regulations Common to All Uses.

	Regulation	Standard	Exceptions
Minimum	Setbacks		1. Improvements less than 30 inches above grade, including decks, patios, walks and driveways, are permitted in setbacks. Fences, landscaping, flagpoles, street furniture, transit shelters and slope stability structures are permitted in setback areas, provided that all other applicable requirements are met. No other structures, including accessory structures, are permitted in setback areas. 2. See Figure 1 below for Front and Street setbacks along 148 <sup>th</sup> Avenue NE. Setbacks shall be: a. 20' for buildings 20' or less in height; or b. 30' for buildings greater than 20' in height. 3. See Figure 1 below for Front and Street setbacks along Bel-Red Road.
	Front and Street	10	
	Rear	20	
	Side	20	
	Landscaping	20%	
Maximum	Front and Street Setbacks	45	Applies in the locations noted on Figure 1 below only.
	Impervious surface area	80%	
	Height	Varies	
	FAR	Varies	1. All legal lots are allowed the greater of either the maximum allowed FAR or 10,000 square feet of buildings provided all other applicable site requirements are met. 2. The FAR for non-residential and residential uses within a given development are individually calculated and may be added to together for a cumulative total, provided that the respective maximum FAR for each use is not exceeded, unless otherwise provided for.
	Sign category	B	

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**Insert Map #12.4 Special Front and Street Setbacks Map**

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(B) Landscaping.

- (1) General Requirement. All setbacks, buffers, open spaces, pervious surfaces, plazas, parks, site and building entrances, pedestrian walkways, service areas and parking lots shall be landscaped with plant materials. Existing vegetation may be maintained and apply toward this standard if the existing vegetation meets the landscaping requirements of this section, is healthy, and is likely to survive development. The requirements specified in RZC 21.32, Landscaping and Natural Screening, shall apply except to the extent that they conflict with landscaping practices appropriate to an urban center. In addition, supplemental landscaping requirements are defined below.
- (2) Plantings Along Streets. At a minimum, planting strips along streets shall include street trees per the City's standards for type and species. Where space allows, planting areas should include other vegetation suitable for an urban setting. Tree planting pits on streets that include furniture zones per RZC 21.12.200(C), Street Cross Sections, shall be covered with tree grates of a type that meets ADA requirements.
- (3) Buffers.
  - (a) Landscape buffers at least 20 feet in width shall be provided in the locations shown on the Map in Figure 1.
  - (b) The buffers shall be planted with the following materials:
    - (i) Minimum of one tree per 200 square feet of buffer area. No more than 40 percent of trees may be deciduous.
    - (ii) Evergreen shrubs, a minimum of five gallon in size. The area covered by the shrubs shall equal at least one-third of the buffer frontage.
    - (iii) Groundcover plantings to cover the ground within three years.
    - (iv) Plant materials shall be drought tolerant and at least 50 percent native species by area.
    - (v) Trees and other plant materials required by this section shall be located so that they effectively buffer the development from bordering residential properties. The buffer need not completely obscure the development; rather it should screen it.
  - (c) Up to 20 percent of the buffer area may be used for streets, driveways, utility crossings, trails or ground level features such as patios. Other structures may not be placed in required buffers.
  - (d) Buffers may be counted towards required open space, required pervious surfaces, setbacks and other requirements in the Use and Bulk Regulations Table that the buffers meet.
- (4) Supplemental Buffer Requirements.
  - (a) Purpose. The purpose of the supplemental buffer requirements is to protect nearby uses from the potential adverse impacts of more intense uses due to noise, glare, and the scale of development in locations where the lots are large enough for greater buffers than required by other provisions of the Redmond Community Development Guide. Buffers shall be required in the locations set forth on Map 12.5, Supplemental Buffers Map.

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**Insert map 12.5, Supplemental Buffers Map.**

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- (b) The width of all required buffers shall be measured at right angles to the property line. Regardless of right-of-way expansions in the future due to purchases, dedications, the granting of easements, or any other means, the buffer shall be measured from the property line as it existed on July 1, 2010.
- (c) Notwithstanding any other provision of this title, the 100-foot greenbelt along the portion of Bellevue-Redmond Road identified above in Map 12.5 shall be planted and maintained so that it blocks vision from the unaided human eye through the greenbelt along both sides of Bellevue-Redmond Road from ground level to a height of 55 feet above the ground surface. This greenbelt shall consist of an evergreen canopy, a middle story of deciduous and evergreen trees, and an understory of shrubs, plants, and smaller trees. While the plants shall be primarily of types native to the area, soils and micro-climate, non-native ornamental plants may also be included.
- (d) Existing significant trees within the buffers and open space shall be retained when possible. Berms within the buffer and open space areas should be planted with a mixture of medium scale evergreen trees and shrubs to provide additional visual buffering to nearby properties.
- (e) The greenbelts and buffers provided for in this section shall comply with the applicable requirements of RZC 21.32, Landscaping, and RZC 21.72, Tree Preservation, except as specifically provided by this section.

(C) Street Cross Sections.

(1) Guidelines for Application.

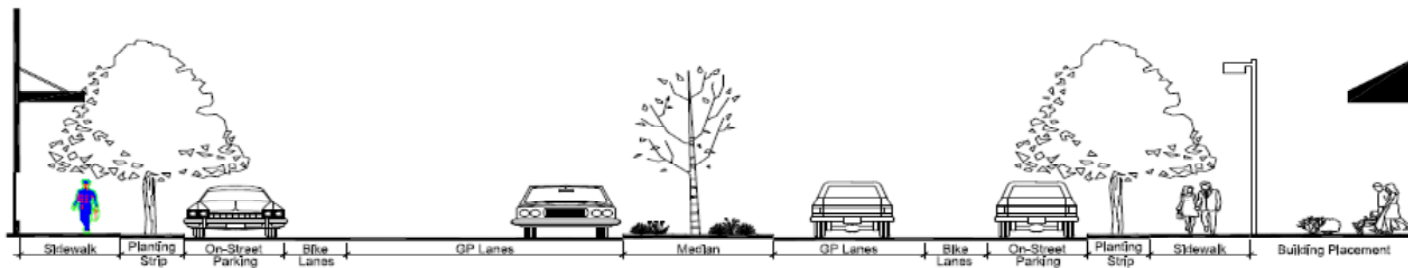
- (a) The Technical Committee shall review and approve each component of the street cross section on a project-by-project basis and has the authority to alter street cross section widths and uses, including utility locations.
- (b) Street cross section widths apply at the middle of the block.
  - (i) The widths and existence of each component may vary at intersections, as determined by the Technical Committee.
  - (ii) Intersection design shall be based upon the Pedestrian Program Plan and Bicycle System Plan chapters of the TMP, the Bicycle Facilities Design Manual, the City's Construction Specifications and Design Standards for Streets and Access, and any corridor study adopted by the City Council for the street(s) in question.
- (c) Provisions of medians and left turn lane access shall be determined on a project-by-project basis, based on traffic speeds, volumes and collision history and using recognized engineering standards such as those published by AASHTO, ITE, or other recognized authority.
- (d) Utilities, such as power, telephone and cable, shall be placed under the sidewalk.
- (e) When designing multimodal corridors refer to the Modal Integration section of TMP, corridors shall support all modes.

(2) Map 12.6, Street Cross Section Location Map-OBAT and Table.

RZC 21.12: Overlake

Insert Map # 12.6, Street Cross Section Location Map-OBAT

RZC 21.12: Overlake



TYPICAL CROSS SECTION

RZC 21.12: Overlake



Street Cross Section												Notes
Southbound/Westbound						Northbound/Eastbound						
Ped. Zone			Street						Ped. Zone			
Cross Section	Sidewalk	5' Planting Strip	On-Street Parking	Bike Lane	GP Lanes	Median / Two Way Left Turn Lane (5)	GP Lanes	Bike Lanes	On Street Parking	5' Planting Strip or 4' Furniture Zone with Tree Grates	Sidewalk	
A	8	5	0	0	24	12	24	0	0	5	12	<ol style="list-style-type: none"> <li>1. Separate multi-use path parallel to corridor.</li> <li>2. Street section shared by Bellevue and Redmond.</li> <li>3. Outside GP lane 13'. Inside GP lane 11'.</li> </ol>
C	6	5	0	5.5	11	12	11	5.5	0	5	6	
D	12	4	8	5	12	14	12	5	8	4	12	<ol style="list-style-type: none"> <li>1. Interim pending the results of a corridor study conducted in coordination with identification of a light rail alignment by the Sound Transit Board of Directors.</li> <li>2. Light rail in the corridor would result in the removal of the median and on-street parking.</li> </ol>
F	6	5	0	5.5	22	12	22	5.5	0	5	6	
G	8.5	0	0	5.5	22	12	22	5.5	0	0	8.5	<ol style="list-style-type: none"> <li>1. Street trees shall be planted in sidewalk area per the Recommended Street Tree List or as otherwise required by the Parks Department.</li> </ol>
H	8	0	0	5.5	22	44	2 2	5.5	0	0	9	
I	8.5	0	0	5.5	22	12	22	5.5	0	Expanded pedestrian zone: see note 2.		<ol style="list-style-type: none"> <li>1. Street trees shall be planted in sidewalk area per the Recommended Street Tree List or as otherwise required by the Parks Department.</li> <li>2. Expanded pedestrian zone shall include 10-foot-wide sidewalk between two planting areas, one adjacent to the street and one adjacent to adjacent private development. Total right-of-way width shall be 82 feet, with easement for remainder of expanded pedestrian zone.</li> </ol>
J	8.5	0	0	5.5	11	12	11	5.5	0	0	8.5	<ol style="list-style-type: none"> <li>1. Street trees shall be planted in sidewalk area per the Recommended Street Tree List or as otherwise required by the Parks Department.</li> </ol>

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**21.12.210 OBAT Allowed Uses and Basic Development Standards**

(A) Allowed Uses and Basic Development Standards. The following table (see below) contains the basic zoning regulations that apply to uses in the Overlake Business and Advanced Technology (OBAT) zone. To use the chart, read down the left-hand column titled “Use.” When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require land use permit approval. See RZC 21.76.020, Overview of the Development Process, for more information. Uses not listed are not permitted.

Section	Use	Maximum FAR		Maximum Height		Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		w/o TDRs or GBP	w/ TDRs or GBP	w/o TDRs or GBP	w/ TDRs or GBP		
<b>Residential</b>							
1	Multifamily Structures	1.0	1.0	5	6	Unit (1.0, 2.25) plus 1 guest space per 4 units for projects of 6 units or more	
2	Mixed-Use Residential						
3	Dormitory					Bed (0.75, 0.75)	
4	SRO					Bedroom (0.5, 1.0)	
<b>General sales or services</b>							
5	General Sales or Service	.40	.47	4	5	1,000 SF GFA (2.0, 3.0)	<ol style="list-style-type: none"> <li>1. The following uses are prohibited:               <ol style="list-style-type: none"> <li>a. Pet and animal sales or services;</li> <li>b. Veterinary services;</li> <li>c. Full-service restaurant; and</li> <li>d. Travel arrangement and reservation services.</li> </ol> </li> <li>2. Convenience uses only.</li> <li>3. If open to the general public, use shall:               <ol style="list-style-type: none"> <li>a. Be located in multi-tenant buildings or as part of mixed-use developments; and,</li> <li>b. Not exceed 20,000 square feet of gross floor area on a single site or 30,000 square feet of gross floor area on a single site if an athletic club or fitness center is included.</li> </ol> </li> <li>4. If open only to internal employees, use is not subject to the above constraints.</li> </ol>

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Section	Use	Maximum FAR		Maximum Height		Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		w/o TDRs or GBP	w/ TDRs or GBP	w/o TDRs or GBP	w/ TDRs or GBP		
							<p>5. Automobile sales, rental and service not allowed except for service to public transit or company-owned vehicles provided the following conditions are met:</p> <p>a. Requires a conditional use permit. See RZC 21.76.070(K), Conditional Use Permit.</p> <p>b. Service for company-owned vehicles shall be accessory to another use.</p> <p>c. Not permitted within a Transition Overlay.</p> <p>6. Gasoline service requires a conditional use permit. See RZC 21.76.070(K), Conditional Use Permit.</p> <p>7. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.</p>
6	Real Estate Services	.40	.47	4	5	1,000 SF GFA (2.0, 3.0)	1. Property management services only.
<b>Manufacturing and Wholesale Trade</b>							
7	Manufacturing and Wholesale Trade	.40	.47	4	5	1,000 SF GFA (2.0, 3.0)	1. Outdoor storage not permitted.
<b>Transportation, Communication, Information, and Utilities</b>							
8	Road, Ground Passenger and Transit Transportation	.40	.47	4	5	1,000 SF GFA (2.0, 3.0)	1. Shall not be located on a parcel that abuts a residential zone
9	Rapid charging station					Adequate to accommodate peak use	
10	Battery exchange station						
11	Communications and Information					1,000 SF GFA (2.0, 3.0)	
12	Local Utilities; Regional Utilities					Adequate to accommodate peak use	
13	Large Satellite	.40	.47	4	5	Adequate to	See RZC 21.56, Wireless Communication Facilities

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Section	Use	Maximum FAR		Maximum Height		Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		w/o TDRs or GBP	w/ TDRs or GBP	w/o TDRs or GBP	w/ TDRs or GBP		
14	Dishes/Amateur Radio Antennas					accommodate peak use	Requires a conditional use permit (See RZC 21.76.070(K), Conditional Use Permit) and must comply with RZC 21.56, Wireless Communication Facilities.
	Antenna Array and Base Station						
	Antenna Support Structures						
<b>Arts, Entertainment, and Recreation</b>							
16	Arts, Entertainment, and Recreation	.40	.47	4	5	1,000 SF GFA (2.0, 3.0)	
<b>Education, Public Administration, Health Care, and other Institutions</b>							
17	Education, Public Administration, Health Care, and other Institutions except those listed below	.40	.47	4	5	See Special Regulations	<ol style="list-style-type: none"> <li>1. Associations, non-profit organizations, etc. not permitted.</li> <li>2. Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Administrator after considering the probable number of employees, etc.</li> </ol>
18	Child Day Care	.47	.47			Employee on maximum shift (1.0, 1.0)	<ol style="list-style-type: none"> <li>4. Play equipment shall be located no less than 10 feet from any property line</li> <li>5. Shall not be located closer than 300 feet from existing day care operation in residential zone</li> <li>6. If built at greater than 0.40 FAR without use of TDRs, deed restrictions shall be placed on building space to require space is used permanently for child day care and no other uses.</li> <li>7.</li> </ol>
19	Religious Institutions	.40	.47			Assembly uses: 1,000 sq ft gfa (10.0, 10.0), or number of fixed seats (0.2, 0.2)	<ol style="list-style-type: none"> <li>1. A seat is one fixed seat or 18 inches on a pew or bench or seven square feet in the general assembly area (including aisle space, but excluding stage, podium, lobby, and space for musical instruments)</li> <li>2. Storage locations of buses/vans over 10,000 gvwt shall be shown on a plan and screened from neighboring</li> </ol>

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Section	Use	Maximum FAR		Maximum Height		Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		w/o TDRs or GBP	w/ TDRs or GBP	w/o TDRs or GBP	w/ TDRs or GBP		
						Other uses: 1,000 sq ft gfa (2.0, 3.0)	<p>properties or right-of-way.</p> <p>3. Decorative fencing or decorative walls and landscaping on side or back lots are required when necessary to prevent visual impacts on neighboring properties and public shoreline areas.</p> <p>4. Steeples, bell towers, crosses or other symbolic religious icons mounted on the rooftop may exceed the maximum shoreline building height by 15 feet. (SMP)</p> <p>5. Maximum height for separate structures on-site such as bell towers, crosses, statuary, or other symbolic religious icons is 50 feet.</p> <p>6. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</p> <p>7. Requires a conditional use permit if 750 seats or greater. See RZC 21.76.070(K), Conditional Use Permit</p>
<b>Construction-Related Businesses</b>							
20	Construction-Related Businesses	.40	.47	4	5	1,000 SF GFA (2.0, 3.0)	<p>1. Shall not include a showroom open to the general public.</p>

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(B) Commercial Floor Area Limit. Development in Overlake shall be subject to the provision of BROTS, as originally executed to cap commercial development at a total of 15.4 million square feet through 2012.

(C) Building Height.

(1) Height Tradeoff. The maximum building height on a site may be exceeded when building height reductions are required at building edges, along a street or park, to achieve better design and stepped building height through the development approval process. The amount of floor area that is allowed to exceed the prescribed maximum building height (without use of bonuses or transfer of development rights) shall not exceed (without use of bonuses or transfer of development rights) shall not exceed the floor area that was removed or omitted to create the stepped building façade and shall not exceed one additional floor above the prescribed maximum building height.

(2) Height Limit Overlay.

(a) Purpose. This section establishes special height limits as shown on the Height Limit Overlay. The intent of this requirement is to promote compatibility on the edges of zones that allow more intense uses than abutting zones and to minimize adverse impacts such as glare.

(b) Map 12.7-Height Limit Overlay Map.

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Insert Map 12.7-Height Limit Overlay Map

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(c) Requirements.

- (i) The Height Limit Overlay Map shows limits on maximum height for structures located within 300 feet of the OBAT Zone boundary with lower intensity zones.
- (ii) Forty-Five-Foot Height Limit Overlay. Within this overlay, maximum structure height shall be 45 feet or three stores, whichever is lower.
- (iii) Thirty-Five-Foot Height Limit Overlay.
  - (A.) Within this overlay, maximum structure height shall be 35 feet.
  - (B.) The maximum structure height may be increased up to 45 feet if at least one of the following features is provided;
    - (1.) At least one quarter of the on-site parking is provided in underground parking structures.
    - (2.) The existing grade under the proposed structure pad is at least 10 feet below the grade at the property lines of all properties that border or are across the street from the development site.
    - (3.) Transfer of development rights or GBP are used to increase structure height.

(3) Allowed structure height may be further increased within this overlay if the following conditions are met:

- (a) The modified building height does not exceed the maximum height permitted by the RZC 21.12.210, OBAT Allowed Uses and Basic Development Standards.
- (b) The proposal with the height allowance will provide an equivalent or better transition to lower height residential zones as the limit imposed through the height overlay. Permit decision-maker may consider:
  - (i) Landscape features such as retention or enhancement of vegetation;
  - (ii) Building design features such as massing or roofline;
  - (iii) Site design features such as use of landscaped berms; or
  - (iv) Other features that meet the intent of this section.

(D) Parking.

- (1) Developments may provide parking in excess of the maximum allowed parking standard, provided the excess parking is also available at all times to the general public, and there is signage at the facility to inform users which parking stalls are available for public use.
- (2) The Technical Committee may consider parking at a ratio as low as 1.5 per 1,000 if a covenant is recorded with the property which limits the uses to warehouse uses and/or limits the number of employees permitted in a building or project.

(E) Residential Usable Open Space.

- (1) General Requirement. The minimum residential usable open space requirement establishes the minimum percentage of a development that must be set aside to provide usable open space for residents. Every development that includes residences shall provide usable open space in an amount equal or greater than 6.15 percent of the gross residential floor area.
- (2) Alternatives for configuration if the total amount of usable open space.

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- (a) Common open space is open space that is open to all residents. It includes landscaped courtyards or decks, gardens with pathways, children's play areas, and other multi-purpose recreational or green spaces. Except for rooftop decks, it may be used to meet 100 percent of the usable open space requirement.
  - (b) Common open space shall be large enough to provide functional leisure or recreational activity as determined by the Technical Committee. The average minimum dimension shall be 20 feet, with no dimension less than 12 feet.
  - (c) Private open space is open space that is not open to all residents. It includes balconies, patios and other multi-purpose recreational or green spaces. It may be used to meet up to 50 percent of the open space requirement. Private open spaces shall be at least 50 square feet, with no dimension less than five feet.
  - (d) Rooftop open space may be used to meet up to 50 percent of the usable open space requirement, except for rooftop open space described in subsection (e) below.
  - (e) In some circumstances, a rooftop may be accessible from street grade because of significant slopes on a site. In such instances, rooftop open space built at street grade and open to the general public may be used to meet 100 percent of the usable open space requirement.
- (3) Combining Usable Open Space and Pedestrian Access. Parking areas, driveways and pedestrian access other than pedestrian access required by Washington State Rules and Regulations for Barrier-Free Design shall not be counted as usable open space, except any pedestrian path or walkway traversing through the open space if the total width of the common usable open space is 18 feet or wider.

**21.12.220 OBAT Capacity Phasing**

- (A) The purpose of this section is to allow for increases in nonresidential development capacity over time by linking increases in maximum permitted nonresidential floor area ratio to progress on mode-split goals, improvements to transportation facilities or services, increased residential development in the neighborhood, and the adequacy of parks, emergency services and other services needed for a daytime population.
- (B) Increase to 0.47/0.55 FAR. The maximum permitted nonresidential floor area ratio in the Overlake Business and Advanced Technology zone shall be increased as follows when the Administrator determines a minimum of 10 points are achieved as defined in Table 1 of this section.
  - (1) Without use of TDRs or GBP: from 0.40 to 0.47
  - (2) With use of TDRs or GBP: from 0.47 to 0.55
- (C) Increase to 0.55/0.62 FAR. The maximum permitted nonresidential floor area ratio in the Overlake Business and Advanced Technology zone shall be increased as follows when the Administrator determines a cumulative total of 20 points are achieved as defined in Table 1 of this section.
  - (1) Without use of TDRs or GBP: from 0.47 to 0.55
  - (2) With use of TDRs or GBP: from 0.55 to 0.62

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**Table 1  
Overlake Business and Advanced Technology Capacity Phasing Triggers**

<b>Event</b>	<b>Points</b>
Each increment of 250 residential dwellings permitted in Overlake after October 20, 2009.	3
Overlake Village Park (2.5 acres minimum): project fully funded	1
Overlake Village Park (2.5 acres minimum): land acquired or dedicated	1
Overlake Village Park (2.5 acres minimum): operational	1
Overlake Village Regional Stormwater Facility 1: project fully funded	1
Overlake Village Regional Stormwater Facility 1: land acquired or dedicated	1
Overlake Village Regional Stormwater Facility 1: operational	1
Overlake Village Regional Stormwater Facility 2: project fully funded	1
Overlake Village Regional Stormwater Facility 2: land acquired or dedicated	1
Overlake Village Regional Stormwater Facility 2: operational	1
King County Metro RapidRide service operational in Overlake	3
Sound Transit Bus Rapid Transit service operational in Overlake	3
Other transit or shuttle connections between employment campuses in OBAT and retail and service locations in the Overlake Village subarea at 30 minute or better frequencies from 8:00 AM to 7:00 PM	3
East Link Light Rail Segment D: preliminary design complete	2
East Link Light Rail Segment D: construction contract awarded	4
East Link Light Rail Segment D: operational	5
East Link Light Rail Segment E: preliminary design complete	1
East Link Light Rail Segment E: construction contract awarded	3
East Link Light Rail Segment E: operational	4
Overlake Access Project (slip ramp): preliminary design complete	1
Overlake Access Project (slip ramp): construction contract awarded	3
Overlake Access Project (slip ramp): operational	4
148 <sup>th</sup> Avenue NE Corridor Improvements Phase I: preliminary design complete	1
148 <sup>th</sup> Avenue NE Corridor Improvements Phase I: operational	2
West Lake Sammamish Parkway Improvements (TFP project RED-BROTS-031): operational	2
NE 40 <sup>th</sup> Street Non-Motorized Bridge: operational	2
SR 520 Trail Grade Separation at NE 40 <sup>th</sup> and NE 51 <sup>st</sup> Streets: operational	2

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Event	Points
Overlake Wayfinding Program: Tier 1 Directional Signs installed	1
Overlake CTR-affected employers' average non-single-occupancy-vehicle mode split of 45%	5
Overlake CTR-affected employers' average non-single-occupancy-vehicle mode split of 50%	5

**21.12.230 References**

For information on how to measure various site requirements like height and setbacks, see RZC 21.16.010, Site Requirements How-To.

See RZC 21.16.020, Other Applicable Regulations for information on other standards that may apply to you.

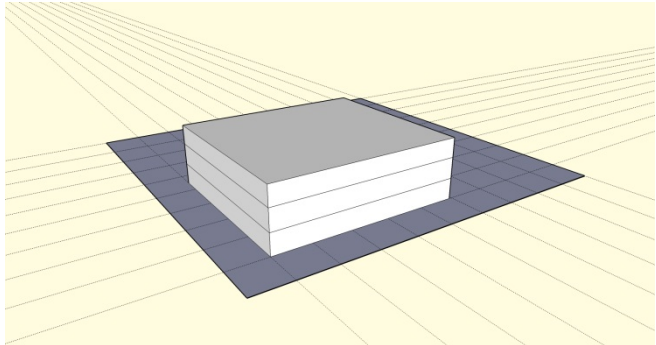
[See RZC 21.67, Green Building and Green Infrastructure Incentive Program.](#)

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**21.14.010 Neighborhood Commercial 1 (NC-1)**

(A) Purpose. The purpose of the Neighborhood Commercial 1 (NC-1) zone is to provide for attractively designed small- scale shopping areas that offer convenience goods and professional and personal services for the daily needs of nearby neighborhoods and that serve as neighborhood gathering places. The intent is to ensure compatibility with the vicinity neighborhood character and to reduce trip length and frequency by allowing only those uses that primarily serve the neighborhood and that do not have a tendency to draw traffic from outside the neighborhood. Location on transit routes and near pedestrian facilities and bike paths is intended to encourage transit use, walking, and biking and to promote convenient access within the shopping area and to and from the neighborhood. Neighborhood Commercial developments should be compatible in height, size, bulk, and design with adjacent residential uses. Mixed-use development is encouraged.

(B) Maximum Development Yield.

	Base	Residential Bonuses Available, and Quantity	Maximum	Example of a building, 35' in height with FAR = 0.66. 
Floor area ratio (FAR)	0.60	Affordable Housing: 0.03 maximum amount <a href="#">GBP: 0.1</a>	0.66	
Height	35 feet	None	35 feet	

(C) Regulations Common to All Uses.

Regulation		Standard	Exceptions
Minimum	Setbacks (ft) Front and street Side and rear	15 10	<ol style="list-style-type: none"> <li>As part of a binding site plan, site plan entitlement, or master planned development, required setbacks may be modified as follows:                             <ol style="list-style-type: none"> <li>Side setback distances may be modified to permit a zero side setback to accommodate clustering</li> <li>Front setbacks may be modified from private streets and access corridors, provided front setbacks are maintained from all public streets</li> </ol>                             Setbacks for structures abutting residential zones shall not be modified.                         </li> <li>Fences, landscaping, flagpoles, street furniture, transit shelters and slope stability structures are permitted in setback areas, provided that all other applicable requirements are met; no other structures, and no accessory structures are allowed in setback areas.</li> <li>Projections or equipment. Attached or detached mechanical structures or equipment, including but not limited to, electrical equipment boxes, heat pumps, air conditioners, emergency generators, and water pumps are allowed in a street setback. However, mechanical structures or equipment are not allowed in a required setback abutting a residential zone. Where there is no alternative location and the equipment will generate no noise, electrical or utility equipment boxes may be located in a setback abutting a residential zone.</li> </ol>
	Landscaping	30%	<ol style="list-style-type: none"> <li>Parking lots shall include interior landscaping. All Neighborhood Commercial parking lots shall apply landscaping standards. Parking lots with less than 20 spaces shall apply landscaping standards for 20 to 150 spaces in RZC</li> </ol>

Regulation	Standard	Exceptions	
		<p>21.32.070B, General Requirements.</p> <p>2. Landscaped areas adjacent to front- and side-streets and pedestrian plazas shall be Type III, Low-Cover (RZC 21.32.080 Types of Planting).</p> <p>3. A minimum of seven percent of required landscaped areas shall be constructed as a public plaza or courtyard.</p> <p>4. The gross floor area of multi-seasonal, public plazas and courtyards that include a combination of seating, overhead cover from the elements, and heating may be multiplied by 1.50 for calculating required landscaping.</p> <p>5. Up to one-half of the required landscaped area may be at other levels if it is in a publicly accessible and usable common area.</p> <p>6. Required landscaping may include on-site stormwater management facilities such as runoff dispersion areas.</p>	
Impervious surface area	70%		
Maximum	Height (feet)	35	1. Maximum height in shoreline areas is 35 feet, except that structures, including bridges that support a regional light rail transit system may be higher than 35 feet but shall be no higher than is reasonably necessary to address the engineering, operational, environmental, and regulatory issues at the location of the structure. (SMP)
	FAR Commercial Residential	0.30 0.30	<p>1. Residential use FAR is additive to the commercial use FAR. Base floor area ratio, in total, shall not exceed 0.60 FAR.</p> <p>2. Each commercial establishment shall not exceed 3,500 square feet gross floor area, unless otherwise specified.</p> <p>3. Commercial gross floor area may be increased to 5,000 square feet for each commercial establishment that provides and dedicates one or a combination of the following community gathering amenities at a minimum size of 200 square feet:</p> <ul style="list-style-type: none"> <li>a. Outdoor, multi-seasonal, public plaza or courtyard, RZC 21.60.030 Community Space.</li> <li>b. Community meeting space.</li> <li>c. Children's play space.</li> </ul> <p>4. RZC 21.20 Affordable Housing and RZC <a href="#">21.67 Green Building and Green Infrastructure Incentive Program incentives are additive to the residential portion of the development as follows:</a></p> <ul style="list-style-type: none"> <li>a. Bonus market-rate residential FAR is permitted as an incentive at a 1:1 ratio for residential FAR provided as affordable housing for a maximum density bonus of an additional 0.03 Residential FAR. For example: each 1,000 sq ft of affordable housing at 80% or less of the King County median income yields an additional 1,000 sq ft, of bonus market rate housing, up to a total 0.03 Residential FAR.</li> <li>b. <a href="#">Green building is calculated based on the point system in RZC 21.08.330 Green Building and Green Infrastructure Incentive Program and is calculated at 0.10 FAR bonus based on the respective technique and incentive. For example: 1 acre site x 0.30 Residential FAR = 13,068 Residential sq ft X 0.10 Green FAR = 1,307 sq ft</a></li> </ul>
	Site size (acreage)	1	<p>1. Commercial uses are permitted on sites up to one acre in size.</p> <p>2. Sites of more than one acre shall apply a lot line revision to establish no greater than one acre for the NC-1 zone.</p> <p>3. Critical areas and associated buffers are exempt from the lot line revision requirement. Additional acreage that is designated as a critical area or associated buffer may be retained and shall be designated as preserved</p>
Hours of Operation		<p>1. Sunday - No earlier than 7:00 am and no later than 9:00 pm</p> <p>2. Monday through Thursday - No earlier than 6:00 am and no later than 9:00 pm</p> <p>3. Friday and Saturday - No earlier than 7:00 am and no later than 11:00 pm</p>	
Drive-through		1. Drive-through establishments are prohibited with the exception of drive-up stands.	

- (D) Redmond Comprehensive Plan policies: Policies in the Commercial section of the Land Use Element apply to the location and development of Neighborhood Commercial zones.
  
- (E) Allowed Uses and Basic Development Standards. The following table contains the basic zoning regulations that apply to uses in the Neighborhood Commercial (NC-1) zone. To use the chart, read down the left-hand column titled "Use." When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require land use permit approval. See RZC 21.76.020, Overview of the Development Process, for more information. Uses not listed are not permitted.

Section	Use	Parking ratio: unit of measure (required, allowed )	Special Regulations
<b>Residential</b>			
1	Residential	Unit (1.0, 2.25) plus 1 guest space per 4 units for projects of 6 units or more	
2	Mixed-use residential		
<b>General Sales or Service</b>			
3	Consumer goods sales or service, other than heavy or durable	1,000 sq ft gross floor area (2.0, 3.0)	
4	Grocery, food, beverage, and dairy		
5	Professional services		
6	Full-service restaurant		
7	Cafeteria or limited-service restaurant		
8	Personal services		
<b>Transportation, Communication, Information, and Utilities</b>			
9	Rapid charging station		1. Permitted only when three sides of site abut nonresidential zone.
10	Battery exchange station		
11	Communications and Information	Adequate to accommodate peak use	1. Only libraries are permitted.
12	Large Satellite Dishes/Amateur Radio Antenna(s)		Subject to RZC 21.56 Wireless Communication Facilities.
13	Antenna Array and Base Stations		A Conditional Use Permit may be required; see RZC 21.56, Wireless Communication Facilities for specific development requirements.
14	Antenna Support Structures		1. Subject to RZC 21.56 Wireless Communication Facilities. 2. Conditional use permit required. See RZC 21.76.070(K), Conditional Use Permit.
15	Local utilities		

Section	Use	Parking ratio: unit of measure (required, allowed )	Special Regulations
16	Regional utilities		1. Conditional use permit required. See RZC 21.76.070(K), Conditional Use Permit.
<b>Arts, Entertainment, and Recreation</b>			
17	Museums and other special purpose recreational institutions	1,000 sq ft gross floor area (2.0, 3.0)	
18	Amusement, sports, or recreation establishment		
19	Natural and other recreational parks		
<b>Education, Public Administration, Health Care, and other Institutions</b>			
20	Government functions	Employee during maximum shift (1.0,1.0)	<ol style="list-style-type: none"> <li>Limited to 1,000 square feet gross floor area per establishment.</li> <li>Excludes maintenance shops.</li> </ol>
<b>Other</b>			
21	Water-enjoyment use	Adequate to accommodate peak use	<ol style="list-style-type: none"> <li>Only allowed in the Bear Creek shoreline jurisdiction downstream of Avondale Road on Union Hill Road, Redmond Way, or SR 520; and, in the Sammamish River shoreline jurisdiction at NE 85<sup>th</sup> St. or NE 90<sup>th</sup> St.</li> </ol>
22	Kiosk		<ol style="list-style-type: none"> <li>Within the shoreline jurisdictions of Bear Creek and the Sammamish River, limited to uses associated with water enjoyment.</li> <li>Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.</li> <li>Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act.</li> <li>Structures shall be secured to prevent tipping and endangering public safety.</li> <li>Maximum size is six feet wide by ten feet long.</li> <li>Administrative design review required for structures.</li> </ol>
23	Vending cart		



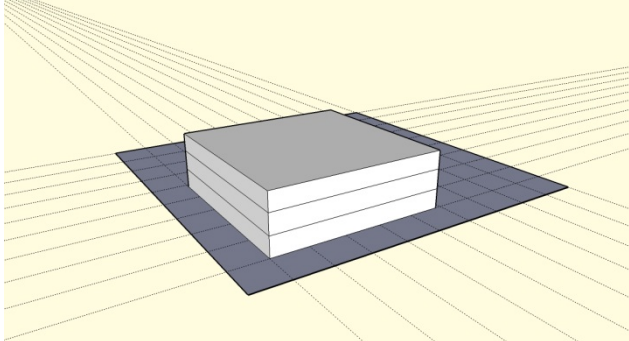
Section	Use	Parking ratio: unit of measure (required, allowed )	Special Regulations
24	Drive-up stand	1,000 sq ft gross floor area (2.0, 3.0)	<ol style="list-style-type: none"> <li>1. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.</li> <li>2. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act.</li> <li>3. Structures shall be secured to prevent tipping and endangering public safety.</li> <li>4. Maximum size is six feet wide by ten feet long.</li> <li>5. Administrative design review required for structures.</li> <li>6. Must submit circulation plan addressing queuing.</li> </ol>

(F) Cross-references. For information on how to measure various site requirements like height and setbacks, see RZC 21.16.010, Site Requirements How-To. See RZC 21.16.020, Other Applicable Regulations, for information on other standards that may apply to you.

**21.14.015 Neighborhood Commercial 2 (NC-2)**

(A) Purpose. The purpose of the Neighborhood Commercial 2 (NC-2) zone is to provide for attractively designed medium-scale shopping areas that offer convenience goods, professional and business services, and personal services for the daily needs of nearby neighborhoods and that serve as neighborhood gathering places. The intent is to promote compatibility with the vicinity neighborhood character. Location on transit routes and near pedestrian facilities and bike paths is intended to encourage transit use, walking, and biking and to promote convenient access within the shopping area and to and from the neighborhood. Neighborhood Commercial developments should be compatible in height, size, bulk, and design with adjacent residential uses. Mixed-use development is encouraged.

(B) Maximum Development Yield.

	Base	Bonuses Available, and Quantity	Maximum	Example of a building, 35' in height with FAR = 0.80. 
Floor area ratio (FAR)	0.60	Community gathering: 0.05 Open space: 0.05 Residential Incentives: Affordable Housing: 0.05 maximum amount <a href="#">GBP:0.05</a>	0.80	
Height	35 feet	None	35 feet	

(C) Regulations Common to All Uses.

Regulation	Standard	Exceptions
Minimum Setbacks (ft) Front and street Side and rear	15 10	<ol style="list-style-type: none"> <li>As part of a binding site plan, site plan entitlement, or master planned development, required setbacks may be modified as follows: <ol style="list-style-type: none"> <li>Side setback distances may be modified to permit a zero side setback to accommodate clustering</li> <li>Front setbacks may be modified from private streets and access corridors, provided front setbacks are maintained from all public streets</li> </ol> Setbacks for structures abutting residential zones shall not be modified. </li> <li>Fences, landscaping, flagpoles, street furniture, transit shelters and slope stability structures are permitted in setback areas, provided that all other applicable requirements are met; no other structures, and no accessory structures are allowed in setback areas.</li> <li>Projections or equipment. Attached or detached mechanical structures or equipment, including but not limited to, electrical equipment boxes, heat pumps, air conditioners, emergency generators, and water pumps are allowed in a street setback. However, mechanical structures or equipment are not allowed in a required setback abutting a residential zone. Where there is no alternative location and the equipment will generate no noise, electrical or</li> </ol>

Regulation	Standard	Exceptions
		utility equipment boxes may be located in a setback abutting a residential zone.
Landscaping	25%	<ol style="list-style-type: none"> <li>1. Parking lots shall include interior landscaping. All Neighborhood Commercial parking lots shall apply landscaping standards. Parking lots with less than 20 spaces shall apply landscaping standards for 20 to 150 spaces in RZC 21.32.070(B), General Requirements.</li> <li>2. Landscaped areas adjacent to front- and side-streets and pedestrian plazas shall be Type III, Low-Cover (RZC 21.32.080 Types of Planting).</li> <li>3. A minimum of seven percent of required landscaped areas shall be constructed as a public plaza or courtyard.</li> <li>4. The gross floor area of multi-seasonal, public plazas and courtyards that include a combination of seating, overhead cover from the elements, and heating may be multiplied by 1.50 for calculating required landscaping.</li> <li>5. Up to one-half of the required landscaped area may be at other levels if it is in a publicly accessible and usable common area.</li> <li>6. Required landscaping may include on-site stormwater management facilities such as runoff dispersion areas.</li> </ol>
Impervious surface area	70%	
Height (feet)	35	<ol style="list-style-type: none"> <li>1. Maximum height in shoreline areas is 35 feet, except that structures, including bridges, that support a regional light rail transit system may be higher than 35 feet but shall be no higher than is reasonably necessary to address the engineering, operational, environmental, and regulatory issues at the location of the structure. (SMP)</li> </ol>
Maximum FAR Commercial Residential	0.30 0.30	<ol style="list-style-type: none"> <li>1. Base floor area ratio, in total, shall not exceed 0.60 FAR.</li> <li>2. Each commercial establishment shall not exceed 5,000 square feet gross floor area, unless otherwise specified.</li> <li>3. A commercial use that provides and dedicates the following may increase their commercial floor area ratio as specified: <ol style="list-style-type: none"> <li>a. Community Gathering amenities, a maximum increase of 0.05 FAR, by dedicating a combination of at least two of the following at no less than 8 percent of the final gross floor area: <ol style="list-style-type: none"> <li>i. Outdoor, multi-seasonal, public plaza or courtyard as defined below, refer to landscaping section.</li> <li>ii. Community meeting space.</li> <li>iii. Children's play space.</li> </ol> </li> <li>b. Open Space, a maximum increase of 0.05 FAR, by dedicating no less than 40 percent of the original lot area as open space. Critical areas apply toward the 40 percent.</li> </ol> </li> <li>4. Residential use FAR is additive to the commercial use FAR.</li> <li>5. RZC 21.20 Affordable Housing and RZC 21.08.330 Green Building and Green Infrastructure Incentive Program incentives are additive to the residential portion of the site as follows: <ol style="list-style-type: none"> <li>a. Bonus market-rate residential FAR is permitted as an incentive at a 1:1 ratio for residential FAR provided as affordable housing for a maximum density bonus of an additional 0.05 Residential FAR. For example: each 1,000 sq ft of affordable housing at 80% or less of the King County median income yields an additional 1,000 sq ft, of bonus market rate housing, up to a total 0.05 Residential FAR.</li> <li>b. Green building is calculated based on the point system in RZC 21.08.330 Green Building and Green Infrastructure Incentive Program and is calculated at 0.05 FAR bonus based on the respective technique and incentive. For example: 3 acre site x 0.30 Residential FAR = 39,204 Residential sq ft X 0.05 Green FAR = 1,960 sq ft.</li> </ol> </li> </ol>
	Site size (acreage)	3

Regulation	Standard	Exceptions
		designated as a critical area or associated buffer may be retained and shall be designated as preserved.
Hours of Operation		<ol style="list-style-type: none"> <li>1. Sunday - No earlier than 5:00 am and no later than 10:00 pm</li> <li>2. Monday through Thursday - No earlier than 5:00 am and no later than 10:00 pm</li> <li>3. Friday and Saturday - No earlier than 5:00 am and no later than 11:00 pm</li> <li>4. Hours of operation may be further limited if residential uses are located in same structure.</li> </ol>
Drive-through		<ol style="list-style-type: none"> <li>1. Drive-through establishments are prohibited with the exception of drive-up stands.</li> </ol>

1. (D) Redmond Comprehensive Plan policies: Policies in the Commercial section of the Land Use Element apply to the location and development of Neighborhood Commercial zones.

(E) Allowed Uses and Basic Development Standards. The following table contains the basic zoning regulations that apply to uses in the Neighborhood Commercial (NC-2) zone. To use the chart, read down the left-hand column titled "Use." When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require land use permit approval. See RZC 21.76.020, Overview of the Development Process, for more information. Uses not listed are not permitted.

Section	Use	Parking ratio: unit of measure (required, allowed )	Special Regulations
<b>Residential</b>			
1	Residential structure	Unit (1.0, 2.25) plus 1 guest space per 4 units for projects of 6 units or more	
	Mixed-use residential structure		
<b>General Sales or Service</b>			
2	Automobile sales, service, or rental establishment	1,000 sq ft gross floor area (4.0, 5.0)	1. Gasoline service only – no other uses permitted. 2. Gasoline service permitted only when three sides of site abut nonresidential zone. 3.
3	Consumer goods sales or service, other than heavy or durable		1.
4	Grocery, food, beverage, and dairy		1. A grocery, food, beverage, or dairy establishment that attains a minimum of LEED Silver Certification or comparable Built Green or other certification as determined by the Technical Committee may exceed the 5,000 square feet gross floor area with a gross floor area no greater than 25,000 square feet.
5	Health and personal care		1.
6	Finance and insurance		1.
7	Real estate services		1. Self-storage facilities prohibited.
8	Professional services		1.
9	Full-service restaurant		1,000 sq ft gross floor area (9.0, 9.0)

Section	Use	Parking ratio: unit of measure (required, allowed )	Special Regulations
10	Cafeteria or limited-service restaurant	1,000 sq ft gross floor area (10.0, 10.0)	
11	Personal services	1,000 sq ft gross floor area (4.0, 5.0)	1.
<b>Transportation, Communication, Information, and Utilities</b>			
12	Rapid charging station	Adequate to accommodate peak use	1. Permitted only when three sides of site abut nonresidential zone.
13	Battery exchange station		2
14	Communications and Information		1. Only libraries are permitted. 2.
15	Large Satellite Dishes/Amateur Radio Tower		Subject to RZC 21.56 Wireless Communication Facilities.
16	Antenna Array and Base Stations		A Conditional Use Permit may be required; see RZC 21.56, Wireless Communication Facilities for specific development requirements.
17	Antenna Support Structures		1. Subject to RZC 21.56 Wireless Communication Facilities. 2. Conditional use permit required. See RZC 21.76.070(K), Conditional Use Permit.
18	Local utilities		
19	Regional utilities		1. Conditional use permit required. See RZC 21.76.070(K), Conditional Use Permit.
<b>Arts, Entertainment, and Recreation</b>			
20	Museums and other special purpose recreational institutions	1,000 sq ft gross floor area (10.0, 10.0)	1.
21	Amusement, sports, or recreation establishment		
22	Natural and other recreational parks	Adequate to accommodate peak use	
<b>Education, Public Administration, Health Care, and Other Institutions</b>			
23	Public administration	1,000 sq ft gross floor area (4.0, 5.0)	1.

Section	Use	Parking ratio: unit of measure (required, allowed )	Special Regulations
24	Other government functions	Employee during maximum shift (1.0,1.0)	1. Excludes maintenance shops
25	Ambulatory and outpatient services	1,000 sq ft gross floor area (4.0, 5.0)	1.
26	Social assistance, welfare, and charitable services	Adequate to accommodate peak use	1. Excludes day care centers
27	Day care center		1. Play equipment shall be located no less than 10 feet from any property line 2. Shall not be located closer than 300 feet from existing day care operation in residential zone
<b>Other</b>			
28	Water-enjoyment use	Adequate to accommodate peak use	1. Only allowed in the Bear Creek shoreline jurisdiction downstream of Avondale Road on Union Hill Road, Redmond Way, or SR 520; and, in the Sammamish River shoreline jurisdiction at NE 85 <sup>th</sup> Street or NE 90 <sup>th</sup> Street.
29	Kiosk		1. Within the shoreline jurisdictions of Bear Creek and the Sammamish River, limited to uses associated with water enjoyment. 2. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access. 3. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act. 4. Structures shall be secured to prevent tipping and endangering public safety. 5. Maximum size is six feet wide by ten feet long. 6. Administrative design review required for structures.
30	Vending cart		

RZC 21.14: Commercial Regulations

Section	Use	Parking ratio: unit of measure (required, allowed )	Special Regulations
31	Drive-up stand	1,000 sq ft gross floor area (4.0, 5.0)	<ol style="list-style-type: none"> <li>1. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.</li> <li>2. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act.</li> <li>3. Structures shall be secured to prevent tipping and endangering public safety.</li> <li>4. Maximum size is six feet wide by ten feet long.</li> <li>5. Administrative design review required for structures.</li> <li>6. Must submit circulation plan addressing queuing.</li> </ol>

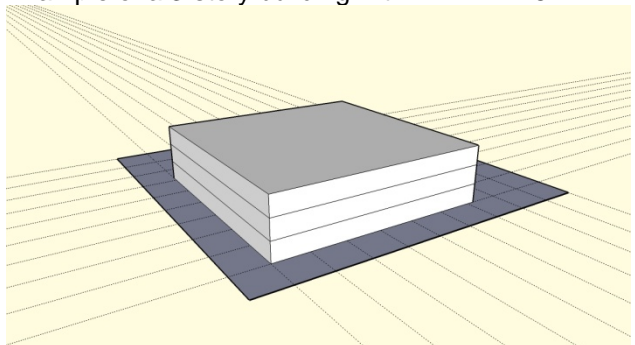
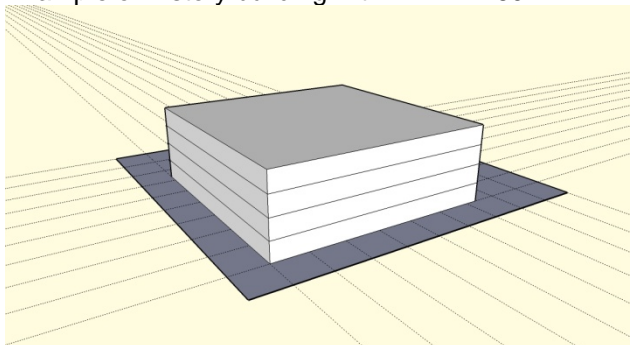
(F) Cross-references. For information on how to measure various site requirements like height and setbacks, see RZC 21.16.010, Site Requirements How-To. See RZC 21.16.020, Other Applicable Regulations, for information on other standards that may apply to you.



## 21.14.020 General Commercial

(A) Purpose. The purpose of the General Commercial (GC) zone is to provide for retail and service businesses that serve community needs and that are better suited for locations outside of the Downtown, Overlake, or Neighborhood Commercial zones. These uses are more land intensive, serve travelers, or offer warehouse sales and sales of larger goods that make location in the Downtown, Overlake, or Neighborhood Commercial zones undesirable. Examples of such uses include, but are not limited to, large-box retail, vehicles sales and service, mini-warehouses, rental services, wholesale uses, and other similar uses. Mixed-use development is also allowed.

(B) Maximum Development Yield.

	Base	Bonuses Available, and Quantity	Maximum	Example of a 3-story building with FAR = 1.15	Example of 4-story building with FAR = 1.60.
Floor area ratio (FAR)	1.15	TDRs: 0.45 <a href="#">GBP: 0.45</a>	1.60		
Height	3 stories	TDRs: 1 story <a href="#">GBP: 1 story</a>	4 stories		

(C) Regulations Common to All Uses.

	Regulation	Standard	Exceptions
Minimum	Lot frontage (ft)	30	
	Setback (ft) Front Street	10 10	<ol style="list-style-type: none"> <li>1. A 10-foot rear and side setback shall apply if a structure abuts property in a residential zone</li> <li>2. As part of a binding site plan, site plan entitlement, or master planned development, required setbacks may be modified as follows:               <ol style="list-style-type: none"> <li>a. Side setback distances may be modified to permit a zero side setback to accommodate clustering</li> <li>b. Front setbacks may be modified from private streets and access corridors, provided front setbacks are maintained from all public streets.</li> </ol> </li> <li>3. Fences, landscaping, flagpoles, street furniture, transit shelters and slope stability structures are permitted in setback areas, provided that all other applicable requirements are met; no other structures, and no accessory structures are allowed in setback areas.</li> <li>4. Projections or equipment. Attached or detached mechanical structures or equipment, including but not limited to, electrical equipment boxes, heat pumps, air conditioners, emergency generators, and water pumps are allowed in a street setback. However, mechanical structures or equipment are not allowed in a required setback abutting a residential zone. Where there is no alternative location and the equipment will generate no noise, electrical or utility equipment boxes may be located in a setback abutting a residential zone.</li> <li>5. <a href="#">Setbacks may be reduced by 50% if located adjacent to a non-residential zone and reduced by 25% if located adjacent to a residential zone through the GBP.</a></li> </ol>
	Landscaping	25 percent	
Maximum	Impervious surface area	75 percent	
	Height	Varies	<ol style="list-style-type: none"> <li>1. Maximum height in shoreline areas is 35 feet, except that structures, including bridges, that support a regional light rail transit system may be higher than 35 feet but shall be no higher than is reasonably necessary to address the engineering, operational, environmental, and regulatory issues at the location of the structure. (SMP)</li> <li>2. Maximum height for mixed-use structures is 3 stories without TDRs <a href="#">or GBP</a> and 4 stories with TDRs <a href="#">or compliance with the GBP</a>.</li> </ol>
	FAR	Varies	<ol style="list-style-type: none"> <li>1. In mixed-use structures, maximum FAR for residential uses and for other uses <a href="#">is</a> additive (i.e., up to 1.15 without TDRs <a href="#">or GBP</a> and up to 1.60 with TDRs <a href="#">or compliance with the GBP</a>).</li> <li>2. All legal lots are entitled to 10,000 square feet GFA without the use of TDRs provided that other site requirements can be met.</li> </ol>

(D) Allowed Uses and Basic Development Standards. The following table contains the basic zoning regulations that apply to uses in the General Commercial (GC) zone. To use the chart, read down the left-hand column titled "Use". When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require land use permit approval. See RZC 21.76.020, Overview of the Development Process, for more information. Uses not listed are not permitted.

Section	Use	Maximums				Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Height (stories)		FAR			
		w/o TDRs or GBP	w/ TDRs or GBP	w/o TDRs or GBP	w/ TDRs or GBP		
<b>Residential</b>							
1	Multifamily dwelling					Studio (1.2, 1.2) 1 bdrm (1.5, 1.5)	
2	Mixed-use residential structure	3	4	0.80	0.90	2 bdrm (1.8, 1.8) 3+ bdrm (2.0, 2.0)	
<b>General sales or services</b>							
3	Automobile sales, service, or rental establishment	2	3	0.35	0.70	600 sq ft enclosed sales gfa (1.0, 1.0); and 2,500 sq ft open sales/rental display area (1.0, 1.0); and service bay (3.0, 3.0); and employee on maximum shift (1.0, 1.0)	<ol style="list-style-type: none"> <li>1. Shall not abut residential zone.</li> <li>2. Sales uses must operate as stand-alone businesses; rental uses may operate in mixed-use developments.</li> <li>3. Rental uses operating in mixed-use developments are limited to eight rental vehicles at any given time in existing parking spaces; additional vehicles may be stored on-site in a building or elsewhere given submittal and approval by the Technical Committee of a vehicle storage plan.</li> <li>4. Vehicle display area shall be outside of required parking and landscape areas.</li> <li>5. Vehicles shall be stored on paved surfaces.</li> <li>6. Advertising signs are not permitted on the outside of vehicles. Signs providing information about the vehicle such as year, make, model, etc. may be displayed on the outside of or in the windows of vehicles.</li> <li>7. Outdoor loudspeaker systems are prohibited.</li> <li>8. Razor wire, chain link, and barbed wire fences prohibited on street or access frontage.</li> <li>9. Vehicle repair shall be conducted indoors.</li> </ol>
4	Heavy consumer goods sales or service	2	3	0.35	0.70	1,000 sq ft gfa (4.0, 5.0)	
5	Durable consumer goods sales or service						

Section	Use	Maximums				Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Height (stories)		FAR			
		w/o TDRs or GBP	w/ TDRs or GBP	w/o TDRs or GBP	w/ TDRs or GBP		
6	Consumer goods sales or service, other than heavy or durable						
7	Grocery, food and beverage						
8	Convenience store						
9	Health and personal care						
10	Finance and insurance						<ol style="list-style-type: none"> <li>Multi-lane drive-through uses permitted only as part of multi-story buildings.</li> <li>Adequate vehicle queuing space shall be provided outside the public right-of-way, on-site vehicular circulation aisles, and the area between the building and the street.</li> <li>Type II landscaping shall screen drive-through lanes.</li> </ol>
11	Real estate services						
12	Professional services						
13	Administrative services						
14	Full-service restaurant					1,000 sq ft gfa (9.0, 9.0)	
15	Cafeteria or limited service restaurant					1,000 sq ft gfa (10.0, 10.0)	
16	Bar or drinking place						
17	Personal services						
	Pet and animal sales or service (except veterinary)					1,000 sq ft gfa (4.0, 5.0)	<ol style="list-style-type: none"> <li>Boarding and training facilities must be located inside of a structure.</li> </ol>
18	Animal kennel/shelter	2	3	0.35	0.70	1,000 sq ft gfa (4.0, 5.0)	<ol style="list-style-type: none"> <li>Boarding facilities must be located inside of a structure.</li> <li>Outdoor runs or yards are allowed for the purpose of exercising animals. Runs/yards must be enclosed by eight-foot-high walls of sound-attenuating fencing or material such as masonry or concrete.</li> <li>The planned maximum number of animals to be sheltered shall be indicated on the application. The maximum may be reduced if the applicant cannot demonstrate that the development has adequate lot size and facility design to accommodate the planned number of animals in a way that ensures neighboring residential properties will not be impacted with noise or odor problems.</li> </ol>
19	Hotel or motel					Rental room (1.0, 1.0)	
<b>Transportation, Communication, Information, and Utilities</b>							
20	Road, ground passenger, and transit transportation	2	3	0.35	0.70	1,000 sq ft gfa (4.0, 5.0)	

Section	Use	Maximums				Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Height (stories)		FAR			
		w/o TDRs or GBP	w/ TDRs or GBP	w/o TDRs or GBP	w/ TDRs or GBP		
21	Rapid charging station					Adequate to accommodate peak use	1. Shall not be located on a parcels that abuts a residential zone  1. See requirements for incidental hazardous waste treatment and storage in this table.  Subject to RZC 21.56 Wireless Communication Facilities.  1. Conditional use permit required. See RZC 21.76.070(K), Conditional Use Permit.
22	Battery exchange station						
23	Communications and information					1,000 sq ft gfa (4.0, 5.0)	
24	Large Satellite Dishes/Amateur Radio Antenna(s)					Adequate to accommodate peak use	
25	Antenna Array and Base Stations						
26	Antenna Support Structures						
27	Local utilities						
28	Regional utilities						
29	Incidental hazardous waste treatment and storage	2	3	0.35	0.70	Adequate to accommodate peak use	1. Allowed only as an accessory use to communications and information; all site requirements for that use apply. 2. Storage limited to amount necessary for proper function of business, not to exceed quantities permitted by Redmond Fire Department; excess stockpiling prohibited. 3. Outdoor storage requires Technical Committee approval, and shall be confined to outbuildings, sheds, and other structures where leakage confinement or spill treatment can be reasonably handled and where exposure to the elements does not increase the possibility of a spill incident. 4. Measures shall be taken in the construction of structures, design of storage areas, and design of delivery areas to prevent release of materials including those resulting from a "worst case" accident and including consideration of large storms where areas are not covered. 5. Hazardous materials shall not cause fumes, unpleasant odors, or harm to others in the course of normal handling. This shall not preclude the handling of materials with the use of approved filters, hoods, scrubbers, or other methods of removing odors or harm.

**Arts, Entertainment, and Recreation**

Section	Use	Maximums				Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Height (stories)		FAR			
		w/o TDRs or GBP	w/ TDRs or GBP	w/o TDRs or GBP	w/ TDRs or GBP		
30	Performing arts or supporting establishment					Assembly uses: 1,000 sq ft gfa (10.0, 10.0), or number of fixed seats (0.2, 0.2) Other uses: 1,000 sq ft gfa (4.0, 5.0)	
31	Museums and other special purpose recreational institutions	2	3	0.35	0.70	1,000 sq ft gfa (4.0, 5.0)	
32	Zoos, botanical gardens, arboreta, etc.					Adequate to accommodate peak use	
33	Amusement, sports, or recreation establishment						
34	Natural and other recreational parks					1,000 sq ft gfa (4.0, 5.0)	
<b>Education, Public Administration, Health Care, and other Institutions</b>							
35	Public administration						
36	Other government functions						
37	Public safety						
38	Ambulatory and outpatient care services	2	3	0.35	0.70	1,000 sq ft gfa (4.0, 5.0)	
39	Day care center					Employee on maximum shift (1.0, 1.0)	<ol style="list-style-type: none"> <li>1. Play equipment shall be located no less than 10 feet from any property line.</li> <li>2. Shall not be located closer than 300 feet from existing day care operation in residential zone.</li> </ol>

Section	Use	Maximums				Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Height (stories)		FAR			
		w/o TDRs or GBP	w/ TDRs or GBP	w/o TDRs or GBP	w/ TDRs or GBP		
40	Religious institutions					<p>Assembly uses: 1,000 sq ft gfa (10.0, 10.0), or number of fixed seats (0.2, 0.2)            Other uses: 1,000 sq ft gfa (4.0, 5.0)</p>	<ol style="list-style-type: none"> <li>1. A seat is one fixed seat or 18 inches on a pew or bench or seven square feet in the general assembly area, including aisle space, but excluding stage, podium, lobby, and space for musical instruments.</li> <li>2. Storage locations of buses/vans over 10,000 gvw shall be shown on a plan and screened from neighboring properties or right-of-way.</li> <li>3. Decorative fencing or decorative walls and landscaping on side or back lots are required when necessary to prevent visual impacts on neighboring properties and public shoreline areas.</li> <li>4. Off-site parking in residential zones is allowed only with a shared parking agreement with an existing institutional use, such as a school.</li> <li>5. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</li> <li>6. Steeples, bell towers, crosses or other symbolic religious icons mounted on the rooftop may exceed the maximum shoreline building height by 15 feet. (SMP)</li> <li>7. Maximum height for separate structures on-site, such as bell towers, crosses, statuary, or other symbolic religious icons, is 50 feet.</li> </ol>
41	Funeral homes and services					1,000 sq ft gfa (4.0, 5.0)	
42	Cremation services and cemeteries						
<b>Other</b>							
43	Water enjoyment use	35 ft	35 ft	0.35	0.70	1,000 sq ft gfa (4.0, 5.0)	<ol style="list-style-type: none"> <li>1. Only allowed in the Bear Creek shoreline jurisdiction downstream of Avondale Road on Union Hill Road, Redmond Way, or SR 520; and, in the Sammamish River shoreline jurisdiction at NE 85<sup>th</sup> Street or NE 90<sup>th</sup> Street.</li> </ol>
44	Kiosk	1	1				<ol style="list-style-type: none"> <li>1. Limited to uses associated with water enjoyment within the shoreline</li> </ol>

Section	Use	Maximums				Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Height (stories)		FAR			
		w/o TDRs or GBP	w/ TDRs or GBP	w/o TDRs or GBP	w/ TDRs or GBP		
45	Vending cart					<ul style="list-style-type: none"> <li>jurisdictions of Bear Creek and the Sammamish River.</li> <li>2. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.</li> <li>3. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act.</li> <li>4. Structures shall be secured to prevent tipping and endangering public safety.</li> <li>5. Maximum size is six feet wide by ten feet long.</li> <li>6. Administrative design review required for structures.</li> </ul>	
46	Drive-up stand				1,000 sq ft gfa (4.0, 5.0)	<ul style="list-style-type: none"> <li>1. Limited to uses associated with water enjoyment within the shoreline jurisdictions of Bear Creek and the Sammamish River.</li> <li>2. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.</li> <li>3. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act.</li> <li>4. Structures shall be secured to prevent tipping and endangering public safety.</li> <li>5. Maximum size is six feet wide by ten feet long.</li> <li>6. Administrative design review required for structures.</li> <li>7. Must submit circulation plan addressing queuing.</li> </ul>	

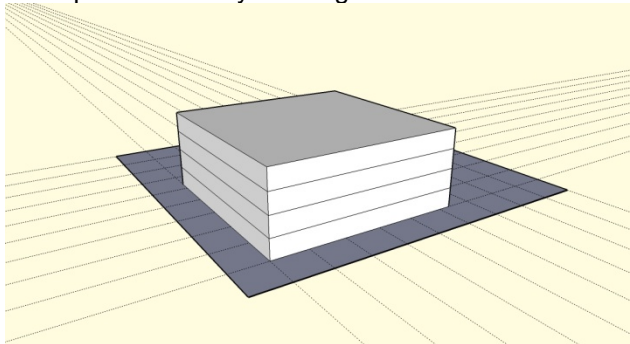
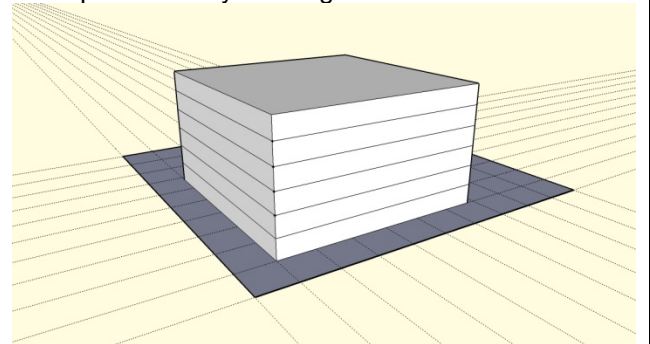
(E) Cross-references. For information on how to measure various site requirements like height and setbacks, see RZC 21.16.010, Site Requirements How-To. See RZC 21.16.020, Other Applicable Regulations, for information on other standards that may apply to you.



## 21.14.030 Business Park

(A) Purpose. The purpose of the Business Park (BP) zone is to provide business and manufacturing employment opportunities that complement commercial activities that are typically found in the Downtown, involve limited outdoor storage, and include a high level of amenities. The Business Park zone provides areas to locate research and development, software development, advanced technology industries, wholesale businesses, manufacturing businesses with largely indoor operations, offices associated with these uses, and uses that require large floor plates such as major medical facilities. Compatible uses that directly support surrounding business park uses, such as restaurants and fitness centers, are allowed. Mixed-use development is also allowed. This zone is not intended for uses that primarily serve the general public.

(B) Maximum Development Yield.

	Base	Bonuses Available, and Quantity	Maximum	Example of a 4-story building with FAR = 0.45	Example of 6-story building with FAR = 2.00.
Floor area ratio (FAR)	1.13	TDRs <a href="#">or</a> <a href="#">GBP: 0.87</a>	2.00		
Height	4 stories	TDRs <a href="#">or</a> <a href="#">GBP: 1 story</a> Mixed-use residential: 1 story	6 stories		

(C) Regulations Common to All Uses.

	Regulation	Standard	Exceptions
Minimum	Tract area (acres)	1.5	1. Regulation does not apply to: a. Unoccupied accessory utility facilities, or b. Building pad sites where the pad site and the property leased for parking, landscaping, or other purposes exceed the minimum tract area.
	Lot frontage (ft)	30	
	Setbacks Front and Street Rear Side	30 20 40	1. Side and rear setback distances may be modified to permit zero side and rear setbacks to accommodate joint wall construction and clustering of buildings. 2. Front setbacks may be modified from private streets and access corridors, provided front setbacks are maintained from all public streets. 3. Fences, landscaping, flagpoles, street furniture, transit shelters and slope stability structures are permitted in setback areas, provided that all other requirements are met; no other structures, and no accessory structures are permitted in setback areas. 4. Setbacks from Willows Road north of NE 95 <sup>th</sup> Street shall average 100 feet and in no instance be less than 75 feet. This setback shall also apply to parking areas. 5. <a href="#">Setbacks may be reduced by 50% if located adjacent to a non-residential zone and reduced by 25% if located adjacent to a residential zone through the Green Infrastructure Bonus program, RZC 21.67, except as required along Willows Road north of NE 95<sup>th</sup> street, as provided above.</a>
	Landscaping	20%	
Maximum	Impervious surface area	75%	1. Limited to 60 percent in the Willows/Rose Hill Neighborhood north of NE 95 <sup>th</sup> Street.
	Height	Varies	1. Maximum height in shoreline area is 35 feet. This height limit is restricted to that portion of the building physically located within the shoreline jurisdiction. This height restriction does not apply to rock crushing equipment, asphalt and concrete batch plants, silos and other related equipment necessitated to meet environmental controls and structures housing manufacturing facilities which require more clear space than by a 35-foot height limit. The maximum height limit for these features shall be 90 feet. The maximum height of structures, including bridges, that support a regional light rail transit system may be higher than 35 feet but shall be no higher than is reasonably necessary to address the engineering, operational, environmental, and regulatory issues at the location of the structure. (SMP)
	FAR (Floor Area Ratio)	Varies	1. In mixed-use structures, maximum FAR for residential uses and for other uses <a href="#">is</a> additive (i.e., up to 1.13 without TDRs <a href="#">or GBP</a> and up to 2.00 with TDRs <a href="#">or GBP</a> ) 2. All legal lots are entitled to 10,000 square feet GFA without the use of TDRs provided that other site requirements can be met.

(D) Allowed Uses and Basic Development Standards. The following table contains the basic zoning regulations that apply to uses in the Business Park (BP) zone. To use the chart, read down the left-hand column titled "Use." When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require land use permit approval. See RZC 21.76.020, Overview of the Development Process, for more information. Uses not listed are not permitted.

Section	Use	Maximums				Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Height (stories)	FAR				
		w/o TDRs or CBD	w/ TDRs or CBD	w/o TDRs or GBP	w/ TDRs or CBD		
<b>Residential</b>							
1	Mixed-use residential structure	5	6	0.68	1.0	Studio (1.2, 1.2) 1 bedroom (1.5, 1.5) 2 bedroom (1.8, 1.8) 3+ bedroom (2.0, 2.0)	
<b>General Sales or Services</b>							
2	Automobile sales, service, or rental establishment	4	5	0.45	1.0	1,000 sq ft gfa (2.0, 3.0)	1. Conditional use permit required. See RZC 21.76.070(K), Conditional Use Permit 2. Only gasoline service permitted. 3. Not permitted in BP zones in Sammamish Valley or Willows/Rose Hill neighborhoods.
3	Heavy consumer goods sales or service						1. Only rental and repair of goods permitted.
4	Durable consumer goods sales or service						
5	Convenience use						1. Permitted in Willows/Rose Hill Neighborhood north of NE 95 <sup>th</sup> Street only 2. Supermarkets prohibited. 3. Must be closed a minimum of four hours in any 24-hour period. 4. Minimum size per tenant space is 1,000 sq ft gfa. 5. Maximum size per tenant space is 20,000 sq ft gfa. 6. Shall be secondary use in multi-tenant building; shall not be located in separate building containing only convenience uses. 7. Bicycle parking shall be provided on-site.
							8. The Technical Committee may increase the maximum parking ratio to 4.0 per 1,000 sq ft gfa if the applicant demonstrates that an increase is warranted based on factors, such as the availability of nearby shared parking, opportunities for pedestrian access, parking demands for specific uses, and expected peak-hour parking demands.

Section	Use	Maximums				Parking ratio: unit of measure (min. required,	Special Regulations
		Height (stories)		FAR			
6	Professional services						1. Limited to uses that primarily serve business clients.
7	Administrative services						
8	Services to buildings or dwellings	4	5	0.45	1.0	1,000 sq ft gfa (2.0, 3.0)	1. Shall be located in multi-tenant building or a single-building in a multi-building, multi-tenant complex. 2. 50-person capacity, except when associated with manufacture of food or kindred products. In that case, maximum is 100 persons or 25 percent of combined gross floor area, whichever is less. 3. Hours of operation limited to 6am-10pm
9	Full-service restaurant					Employee on maximum shift (1.0, 1.0)	
10	Cafeteria or limited service restaurant						
11	Bar or drinking place					1,000 sq ft gfa (10.0, 10.0)	
<b>Manufacturing and Wholesale Trade</b>							
12	Manufacturing and wholesale trade	4	5	0.45	1.0	1,000 sq ft gfa (2.0, 3.0)	1. At least 75 percent of business activity by area must be conducted indoors, including storage of materials used in business activity. 2. Retail sales of goods manufactured on the premises, or accessory or secondary to the primary manufacturing and wholesale trade use, are permitted. Area devoted to retail sales shall not exceed the lesser of 10 percent of combined gross floor area or 1,000 square feet.
<b>Transportation, Communication, Information, and Utilities</b>							
13	Rail transportation	4	5	0.45	1.0		1. Shall not be located on a parcel that abuts a residential zone  1. Conditional use permit required. See RZC 21.76.070(K), Conditional Use Permit  1. Storage of impounded, abandoned, or damaged vehicles is prohibited.
14	Road, ground passenger, and transit transportation					1,000 sq ft gfa (2.0, 3.0)	
15	Rapid charging station					Adequate to accommodate peak use	
16	Battery exchange station						
17	Courier and messenger services					1,000 sq ft gfa (2.0, 3.0)	
18	Helipoint facility						
19	Automobile parking facility						
20	Communications and information					1,000 sq ft gfa (2.0, 3.0)	
21	Large Satellite Dishes/Amateur Radio Antenna(s)					Adequate to accommodate peak use	
22	Antenna Array and Base Station						
23	Antenna Support Structures						
24	Regional utilities						
25	Local utilities						

Section	Use	Maximums				Parking ratio: unit of measure (min. required,	Special Regulations
		Height (stories)		FAR			
26	Incidental hazardous waste treatment and storage	4	5	0.45	1.0	1,000 sq ft gfa (2.0, 3.0)	<ol style="list-style-type: none"> <li>Measures shall be taken in the construction of structures, design of storage areas, and design of delivery areas to prevent release of materials including those resulting from a "worst case" accident and including consideration of large storms where areas are not covered.</li> <li>Hazardous materials shall not cause fumes, unpleasant odors, or harm to others in the course of normal handling. This shall not preclude the handling of materials with the use of approved filters, hoods, scrubbers, or other methods of removing odors or harm.</li> <li>Storage limited to amount necessary for proper function of business, not to exceed quantities permitted by Redmond Fire Department; excess stockpiling prohibited.</li> <li>Outdoor storage requires Technical Committee approval, and shall be confined to outbuildings, sheds, and other structures where leakage confinement or spill treatment can be reasonably handled and where exposure to the elements does not increase the possibility of a spill incident.</li> </ol>
<b>Arts, Entertainment, and Recreation</b>							
27	Natural and other recreational parks	4	5	0.45	1.0	1,000 sq ft gfa (2.0, 3.0)	
28	Amusement, sports, or recreation establishment						<ol style="list-style-type: none"> <li>Limited to fitness and athletic clubs only.</li> <li>Maximum size is 30,000 sq ft gfa in Willows/Rose Hill Neighborhood north of NE 95<sup>th</sup> Street.</li> </ol>
29	Adult entertainment facilities						<ol style="list-style-type: none"> <li>Conditional use permit required. See RZC 21.76.070(K), Conditional Use Permit</li> <li>See RZC 21.18, Adult Entertainment</li> </ol>

Education, Public Administration, Health Care, and other Institutions							
30	Grade schools	4	5	0.45	1.0	Adequate to accommodate peak use	1. Conditional use permit required if capacity is greater than 150 full-time students. See RZC 21.76.070(K), Conditional Use Permit.
31	Colleges and universities						
32	Technical, trade, and other specialty schools						
33	Secure community transition facility						
34	Ambulatory and outpatient care services						
35	Day care center	4	5	0.45	1.0	Employee on maximum shift (1.0, 1.0)	1. Play equipment shall be located no less than 10 feet from any property line. 2. Shall not be located closer than 300 feet from existing day care operation in a residential zone
36	Associations and nonprofit organizations	4	5	0.45	1.0	1,000 sq ft gfa (2.0, 3.0)	
Construction-related Businesses							
37	Construction-related businesses	4	5	0.45	1.0	1,000 sq ft gfa (2.0, 3.0)	1. Offices uses only.
Other							
38	Water enjoyment use	45 ft	45 ft	0.45	1.0	1,000 sq ft gfa (2.0, 3.0)	1. Allowed only in the shoreline jurisdiction of Bear Creek, downstream of Avondale Road on Union Hill Road, Redmond Way or SR 520, and the shoreline jurisdiction of the Sammamish River at NE 85 <sup>th</sup> Street and NE 90 <sup>th</sup> Street. (SMP)
39	Kiosk	1	1				1. Limited to uses associated with water enjoyment within the shoreline jurisdictions of Bear Creek and the Sammamish River. 2. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access. 3. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act. 4. Structures shall be secured to prevent tipping and endangering public safety. 5. Maximum size is six feet wide by ten feet long. 6. Administrative design review required for structures.
40	Vending cart						
41	Drive-up stand						
						1,000 sq ft gfa (2.0, 3.0)	1. Limited to uses associated with water enjoyment within the shoreline jurisdictions of Bear Creek and the Sammamish River. 2. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access. 3. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act. 4. Structures shall be secured to prevent tipping and endangering public safety. 5. Maximum size is six feet wide by ten feet long. 6. Administrative design review required for structures. 7. Must submit circulation plan addressing queuing.

(E) Supplemental Standards in Willows/Rose Hill Neighborhood.

(1) Purpose. The purpose of this section is to implement Willows/Rose Hill Neighborhood vision and policies and to retain the following features of the Willows Business Park Corridor:

- (a) Important natural features of the hillside corridor;
- (b) A pastoral and parkway appearance;
- (c) Visual compatibility between buildings and the forested hills and open pastures of the Willows Corridor;
- (d) Developments separated from each other with areas of open space.
- (e) High-quality site and building design; and,
- (f) Visual buffering of nearby residential uses from development along the Willows Corridor.

(2) Applicability. These regulations apply to properties zoned Business Park in the Willows/Rose Hill Neighborhood that are located north of NE 95<sup>th</sup> Street.

(3) Design Standards.

(a) Requirements.

- (i) Parking shall be screened by buildings or trees from Willows Road.
- (ii) Structures shall be screened by topography, trees or other measures to visually buffer the development from nearby residential uses to the west.
- (iii) Drive-through windows permitted only in multi-tenant buildings and shall be designed to prevent interference with pedestrian access, driveway access to surrounding development, and traffic flow on adjacent streets.
- (iv) Convenience uses should be located to minimize walking distance between them and to enable the convenience use to serve as a gathering and meeting place for employees in the BP zone.
- (v) Convenience uses shall be located to encourage employee access by walking or bicycling.
- (vi) Developments should be separated from one another and from Willows Road. Forested gullies, wetlands, old pastures and treed areas are the preferred means of separating uses. The separation areas may include trails, open recreation areas, and natural-looking storm water ponds.
- (vii) Open space, critical areas and treed areas should be connected to existing or projected open space on adjoining properties to provide for a continuous band of open space across the hillside.

(4) Tree Preservation.

(a) No more than 35 percent of the significant trees on any property may be removed without approval of a planting plan that provides improved wildlife habitat and provides for the replacement of more healthy trees than are removed.

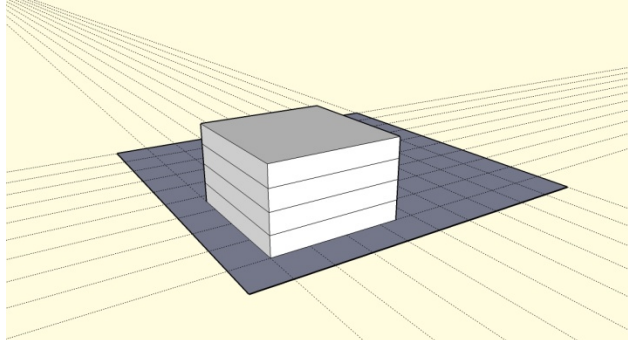
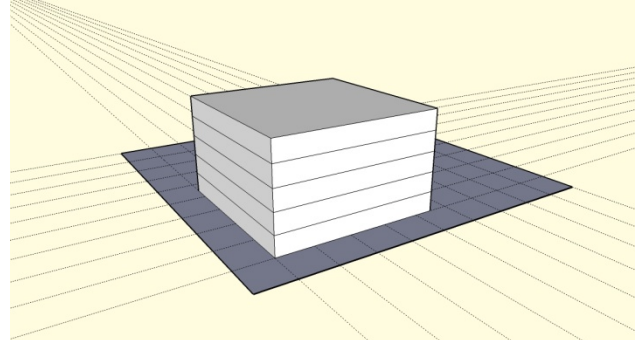
(F) Cross-references. For information on how to measure various site requirements like height and setbacks, see RZC 21.16.010, Site Requirements How-To. See RZC 21.16.020, Other Applicable Regulations, for information on other standards that may apply to you.



## 21.14.040 Manufacturing Park

(A) Purpose. The purpose of the Manufacturing Park (MP) zone is to provide locations for existing and future manufacturing and industrial uses, particularly those that require significant areas for storage of materials and equipment (both indoors and outdoors), and that are better suited for locations outside of Downtown and Overlake due to site requirements, noise impacts, transportation needs, or other considerations. The intent of the Manufacturing Park zone is to allow manufacturing, research and development, light industry, wholesale, assembly and distribution businesses, and essential public facilities. Office and other secondary uses are limited to those that support these primary uses. Other uses such as day care centers, retail vehicle fuel sales, and technical colleges may be considered. Residential uses, except for secure community transition facilities, are not allowed. A broader range of commercial uses are allowed within the Manufacturing Park Overlay in SE Redmond as shown on the Redmond Zoning Map.

(B) Maximum Development Yield.

	Base	Bonuses Available, and Quantity	Maximum	Example of a 4-story building with FAR = 0.50	Example of 5-story building with FAR = 1.00
Floor area ratio (FAR)	0.25-0.5 (use dependent)	TDRs or <a href="#">GBP: 0.5</a>	1.00		
Height	4 stories	TDRs or <a href="#">GBP: 1 story</a>	5 stories		

(C) Regulations Common to All Uses.

	Regulation	Standard	Exceptions
Minimum	Tract area (acres)	1.5	1. Regulation does not apply to: a. Unoccupied accessory utility facilities, or b. Building pad sites where the pad site and the property leased for parking, landscaping, or other purposes exceed the minimum tract area.
	Lot frontage (ft)	30	
	Setbacks Front and street Rear and side	30 10	1. Side and rear setback distances may be modified to permit zero side and rear setbacks to accommodate joint wall construction and clustering of buildings. 2. Front setbacks may be modified from private streets and access corridors, provided front setbacks are maintained from all public streets. 3. Fences, landscaping, flagpoles, street furniture, transit shelters and slope stability structures are permitted in setback areas, provided that all other requirements are met; no other structures, and no accessory structures are permitted in setback areas. 4. <a href="#">Setbacks may be reduced to 50% if located adjacent to a non-residential zone and reduced by 25% if located</a>

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Regulation	Standard	Exceptions
		<a href="#">adjacent to a residential zone through the GBP program.</a>
Landscaping	20 percent	
Impervious surface area	80 percent	
Height	Varies	1. Maximum height in shoreline area is 35 feet. This height limit is restricted to that portion of the building physically located within the shoreline jurisdiction. This height restriction does not apply to rock crushing equipment, asphalt and concrete batch plants, silos and other related equipment necessitated to meet environmental controls and structures housing manufacturing facilities which require more clear space than by a 35-foot height limit. The maximum height limit for these features shall be 90 feet. (SMP)
FAR (Floor Area Ratio)	Varies	1. All legal lots are entitled to 10,000 square feet GFA without the use of TDRs <a href="#">or GBP</a> provided that other site requirements can be met.

(D) Allowed Uses and Basic Development Standards. The following table contains the basic zoning regulations that apply to uses in the Manufacturing Park (MP) zone. To use the chart, read down the left-hand column titled "Use." When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require land use permit approval. See RZC 21.76.020, Overview of the Development Process, for more information. Uses not listed are not permitted.

Section	Use	Maximums				Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Height (stories)		FAR			
		w/o TDRs <a href="#">or GBP</a>	w/ TDRs <a href="#">or GBP</a>	w/o TDRs <a href="#">or GBP</a>	w/ TDRs <a href="#">or GBP</a>		
<b>General Sales or Services</b>							

Section	Use	Maximums				Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Height (stories)		FAR			
		w/o TDRs or GBP	w/ TDRs or GBP	w/o TDRs or GBP	w/ TDRs or GBP		
1	Automobile sales, service, or rental establishment	4	5	0.5	1.0	600 sq ft enclosed sales gfa (1.0, 1.0); and 2,500 sq ft open sales/rental display area (1.0, 1.0); and service bay (3.0, 3.0); and employee on maximum shift (1.0, 1.0)	<ol style="list-style-type: none"> <li>Gasoline service requires conditional use permit. See RZC 21.76.070(K), Conditional Use Permit.</li> <li>Shall not abut residential zone.</li> <li>Rental uses operating in mixed-use developments are limited to eight rental vehicles at any given time in existing parking spaces; additional vehicles may be stored on-site in a building or elsewhere given submittal and approval by the Technical Committee of a vehicle storage plan.</li> <li>Vehicle display area shall be outside of required parking and landscape areas.</li> <li>Vehicles shall be stored on paved surfaces.</li> <li>Advertising signs are not permitted on the outside of vehicles. Signs providing information about the vehicle, such as year, make, model, etc., may be displayed on the outside of or in the windows of vehicles.</li> <li>Outdoor loudspeaker systems are prohibited.</li> <li>Razor wire, chain link, and barbed wire fences prohibited on street or access frontage.</li> <li>Vehicle repair shall be conducted indoors.</li> <li>Auto and motorcycle repair uses may also allow sales, not to exceed 25 percent of the combined gross floor area of all uses.</li> <li>Auto sales only permitted in conjunction with repair (see note 10 above), or as stand-alone businesses on properties with frontage on NE 90<sup>th</sup> Street between Willows Road and 152<sup>nd</sup> Avenue NE, NE 95<sup>th</sup> Street between Willows Road and 151<sup>st</sup> Avenue NE, and 151<sup>st</sup> Avenue NE between NE 90<sup>th</sup> Street and NE 95<sup>th</sup> Street.</li> </ol>
2	Real estate services	4	5	0.5	1.0	1,000 sq ft gfa (2.0, 3.0)	1. Mini-warehouses/self-storage only.
3	Heavy consumer goods sales or service		4	0.25	0.25	1,000 sq ft gfa (2.0, 5.0)	1. Limited to repair and rental of goods, and membership wholesale/retail warehouses only except within the Manufacturing Park Overlay as shown on the Redmond Zoning Map.
4	Durable consumer goods sales or service						

Section	Use	Maximums				Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations	
		Height (stories)		FAR				
		w/o TDRs or GBP	w/ TDRs or GBP	w/o TDRs or GBP	w/ TDRs or GBP			
5	Consumer goods sales or service, other than heavy or durable						<p>2. For membership wholesale/retail warehouses:</p> <p>a. Permitted in SE Redmond only.</p> <p>b. A Development Agreement is required and must address the following policy areas of the Comprehensive Plan: land use and design, sustainable building practices, utilities, environmental issues, transportation, parks and open space, and community character.</p> <p>c. A neighborhood meeting is required prior to development agreement public hearing.</p> <p>d. Notice for neighborhood meeting shall be mailed at least 21 days in advance to all owners and tenants of properties within 1,000 feet of the site for which a complete application has been received by the City. Notice shall also be mailed to all homeowners' associations and residential properties adjacent to the specific MP zone in question.</p> <p>3. Parking in the Manufacturing Park Overlay shall be provided at 2.0 to 3.0 stalls per 1,000 sq ft gfa.</p>	
6	Health and personal care	5		0.5	1.0	1,000 sq ft gfa (2.0, 30)	1.	
7	Finance and insurance						2.	
8	Professional services						3. Limited to a) research and development services, and b) other uses that support another permitted use in the MP zone.	
9	Administrative services						1. Limited to corporate headquarters and regional offices associated with manufacturing or wholesale trade uses in an MP zone in Redmond.	
10	Personal Services						2.	
11	Services to buildings and dwellings							
12	Full-service restaurant						1. Shall be located in multi-tenant building or a single-building in a multi-building, multi-tenant complex.	
13	Cafeteria or limited service restaurant							2. 50-person seating capacity, except when associated with manufacture of food or kindred products. In that case, maximum is 100-person seating capacity, so long as the seating area does not occupy more than 25% of combined gross floor area. The seating limit does not apply when the use is secondary to a winery or brewery, but the 25% limit continues to apply.
14	Bar or drinking place							3. Hours of operation limited to 6am-10pm.
15	Caterer						1,000 sq ft gfa (2.0, 3.0)	
16	Food service contractor							

Section	Use	Maximums				Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Height (stories)		FAR			
		w/o TDRs or GBP	w/ TDRs or GBP	w/o TDRs or GBP	w/ TDRs or GBP		
17	Pet and animal sales or service (except veterinary)						1. 1. Allowed only within the Manufacturing Park Overlay as shown on the Redmond Zoning Map.
18	Animal kennel/shelter	4	5	0.5	1.0	1,000 sq ft gfa (2.0, 3.0)	2. Boarding facilities must be located inside of a structure. 3. Outdoor runs or yards are allowed for the purpose of exercising animals. Runs/yards must be enclosed by eight-foot-high walls of sound-attenuating fencing or material such as masonry or concrete. 4. The planned maximum number of animals to be sheltered shall be indicated on the application. The maximum may be reduced if the applicant cannot demonstrate that the development has adequate lot size and facility design to accommodate the planned number of animals in a way that ensures neighboring residential properties will not be impacted with noise or odor problems.
<b>Manufacturing and Wholesale Trade</b>							
19	Manufacturing and wholesale trade	4	5	0.5	1.0	1,000 sq ft gfa (2.0, 3.0)	1. Asphalt and concrete batch plants shall have direct access to arterials. 2. Rock crushing equipment, asphalt, and concrete batch plants, silos and other related equipment may extend to a maximum height of 90 feet. 3. Outdoor processing operations follow a Type II review process. 4. Retail sales of goods manufactured on the premises, or accessory or secondary to the primary manufacturing and wholesale trade use, are permitted. Area devoted to retail sales shall not exceed the lesser of 10 percent of combined gross floor area or 1,000 square feet. 5. One caretaker residence per parcel is permitted as an accessory use, and shall not exceed 1,500 square feet.
<b>Transportation, Communication, Information, and Utilities</b>							
20	Rail transportation	4	5	0.5	1.0	1,000 sq ft gfa (2.0, 3.0)	1. Shall not be located on a parcel that abuts a residential zone
21	Road, ground passenger, and transit transportation						
22	Truck and freight transportation services						
23	Rapid charging station						
24	Battery exchange station						
25	Postal services						
26	Helipoint facility					1,000 sq ft gfa (2.0, 3.0)	1. Conditional use permit required. See RZC 21.76.070(K), Conditional Use Permit

Section	Use	Maximums				Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Height (stories)		FAR			
		w/o TDRs or GBP	w/ TDRs or GBP	w/o TDRs or GBP	w/ TDRs or GBP		
27	Communications and information						
28	Large Satellite Dishes/Amateur Radio Antenna(s)					Adequate to accommodate peak use	See RZC 21.56, Wireless Communication Facilities
29	Antenna Array and Base Station						
30	Antenna Support Structures					Adequate to accommodate peak use	See RZC 21.56, Wireless Communication Facilities
31	Regional utilities						
32	Local utilities						
33	Solid waste transfer and recycling						
34	Incidental hazardous waste treatment and storage	4	5	0.5	1.0	1,000 sq ft gfa (2.0, 3.0)	<ol style="list-style-type: none"> <li>Measures shall be taken in the construction of structures, design of storage areas, and design of delivery areas to prevent release of materials including those resulting from a "worst case" accident and including consideration of large storms where areas are not covered.</li> <li>Hazardous materials shall not cause fumes, unpleasant odors, or harm to others in the course of normal handling. This shall not preclude the handling of materials with the use of approved filters, hoods, scrubbers, or other methods of removing odors or harm.</li> </ol>
35	Primary hazardous waste treatment and storage						<ol style="list-style-type: none"> <li>Conditional use permit required. See RZC 21.76.070(K), Conditional Use Permit</li> <li>Measures shall be taken in the construction of structures, design of storage areas, and design of delivery areas to prevent release of materials including those resulting from a "worst case" accident and including consideration of large storms where areas are not covered.</li> <li>Hazardous materials shall not cause fumes, unpleasant odors, or harm to others in the course of normal handling. This shall not preclude the handling of materials with the use of approved filters, hoods, scrubbers, or other methods of removing odors or harm.</li> </ol>
<b>Arts, Entertainment, and Recreation</b>							
36	Natural and other recreational parks					1,000 sq ft gfa (2.0, 3.0)	
37	Amusement, sports or recreation establishment	4	5	0.5	1.0		1. Limited to fitness and athletic clubs only.

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Section	Use	Maximums				Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Height (stories)		FAR			
		w/o TDRs or GBP	w/ TDRs or GBP	w/o TDRs or GBP	w/ TDRs or GBP		
38	Adult entertainment facilities					<ol style="list-style-type: none"> <li>1. Conditional use permit required. See RZC 21.76.070(K), Conditional Use Permit.</li> <li>2. See RZC 21.18, Adult Entertainment.</li> </ol>	
<b>Education, Public Administration, Health Care, and other Institutions</b>							
39	Technical, trade, and other specialty schools	4	5	0.5	1.0	Adequate to accommodate peak use	<ol style="list-style-type: none"> <li>1. Conditional use permit required if capacity is greater than 150 full-time-equivalent students, where 15 credits per quarter considered full-time. See RZC 21.76.070(K), Conditional Use Permit.</li> <li>2. The school shall allow for the efficient operation manufacturing uses.</li> <li>3. The proposed site design and layout shall minimize the effects of existing manufacturing uses upon the proposal. Site design and layout should include adequate screening of noise, light, and view of adjacent and less aesthetic uses (such as a storage yard).</li> </ol>
40	Secure community transition facility						<ol style="list-style-type: none"> <li>1. See RZC 21.76.070(M), Essential Public Facilities.</li> </ol>
41	Ambulatory and outpatient care						<ol style="list-style-type: none"> <li>1. Allowed only within the Manufacturing Park Overlay as shown on the Redmond Zoning Map.</li> </ol>
42	Day care center					Employee on maximum shift (1.0, 1.0)	<ol style="list-style-type: none"> <li>2. Play equipment shall be located no less than 10 feet from any property line.</li> <li>3. Shall not be located closer than 300 feet from existing day care operation in residential zone.</li> </ol>

Section	Use	Maximums				Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Height (stories)		FAR			
		w/o TDRs or GBP	w/ TDRs or GBP	w/o TDRs or GBP	w/ TDRs or GBP		
43	Religious institutions	4	5	0.5	1.0	<p>Assembly uses: 1,000 sq ft gfa (10.0, 10.0), or number of fixed seats (0.2, 0.2) Other uses: 1,000 sq ft gfa (2.0, 3.0)</p> <ol style="list-style-type: none"> <li>1. A seat is one fixed seat or 18 inches on a pew or bench or seven square feet in the general assembly area, including aisle space, but excluding stage, podium, lobby, and space for musical instruments.</li> <li>2. Storage locations of buses/vans over 10,000 gvw shall be shown on a plan and screened from neighboring properties or right-of-way.</li> <li>3. Decorative fencing or decorative walls and landscaping on side or back lots are required when necessary to prevent visual impacts on neighboring properties and public shoreline areas.</li> <li>4. Off-site parking in residential zones is allowed only with a shared parking agreement with an existing institutional use, such as a school.</li> <li>5. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</li> <li>6. Steeples, bell towers, crosses or other symbolic religious icons mounted on the rooftop may exceed the maximum shoreline building height by 15 feet. (SMP)</li> <li>7. Maximum height for separate structures on-site such as bell towers, crosses, statuary, or other symbolic religious icons is 60 feet.</li> <li>8. Institutions with a seating capacity greater than 750 seats shall: require a traffic study or other documentation deemed suitable by the Technical Committee that demonstrates that there will be no significant adverse impacts to traffic operations on the adjacent street system; have a maximum building height of 5 stories; be setback 5 additional feet for every one foot in building height over 45 feet exclusive of rooftop symbolic icons; not contain accessory or stand-alone parking facilities; not contain primary or secondary schools; and shall require a conditional use permit. See RZC 21.76.070(K), Conditional Use Permit.</li> <li>9. Institutions with a seating capacity greater than 7,500 seats shall be located adjacent to at least one collector, minor, or principal arterial.</li> </ol>	
<b>Construction-related Businesses</b>							
44	Construction-related businesses	4	5	0.5	1.0	<p>1000 sq ft gfa (2.0, 3.0)</p>	



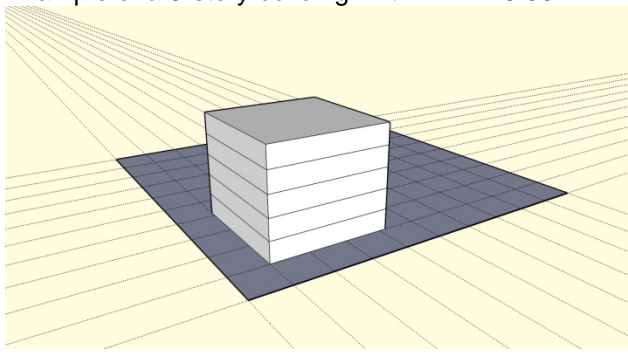
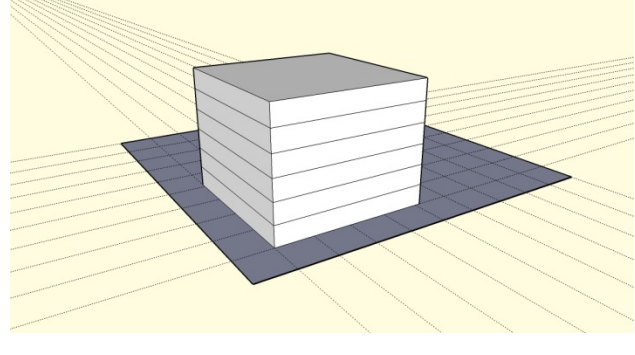
Other							
45	Water enjoyment use	45 feet	45 feet	0.5	1.0	1,000 sq ft gfa (2.0, 3.0)	<ol style="list-style-type: none"> <li>1. Allowed only in the shoreline jurisdiction of Bear Creek, downstream of Avondale Road on Union Hill Road, Redmond Way or SR 520, and the shoreline jurisdiction of the Sammamish River at NE 85<sup>th</sup> Street and NE 90<sup>th</sup> Street. (SMP)</li> <li>2. Maximum height is 45 feet. (SMP)</li> </ol>
46	Kiosk	1	1			1,000 sq ft gfa (2.0, 3.0)	<ol style="list-style-type: none"> <li>1. Limited to uses associated with water enjoyment within the shoreline jurisdictions of Bear Creek and the Sammamish River.</li> <li>2. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.</li> <li>3. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act.</li> <li>4. Structures shall be secured to prevent tipping and endangering public safety.</li> <li>5. Maximum size is six feet wide by ten feet long.</li> <li>6. Administrative design review required for structures.</li> </ol>
47	Vending cart					1,000 sq ft gfa (2.0, 3.0)	
48	Drive-up stand					1,000 sq ft gfa (2.0, 3.0)	

(E) Cross-references. For information on how to measure various site requirements like height and setbacks, see RZC 21.16.010, Site Requirements How-To. See RZC 21.16.020, Other Applicable Regulations, for information on other standards that may apply to you.

## 21.14.050 Industry

(A) Purpose Statement. The purpose of the Industry (I) zone is to provide locations for manufacturing, industrial uses, mineral and resource extraction and processing, wholesale trade and distribution, and associated warehouse and storage activities. Residential uses are generally prohibited.

(B) Maximum Development Yield.

	Base	Bonuses Available, and Quantity	Maximum	Example of a 5-story building with FAR = 0.50	Example of 6-story building with FAR = 1.00
Floor area ratio (FAR)	0.50	TDRs <a href="#">or GBP: 0.50</a>	1.00		
Height	5 stories	TDRs <a href="#">or GBP: 1 story</a>	6 stories		

(C) Regulations Common to All Uses.

	Regulation	Standard	Exceptions
Minimum	Tract area (acres)	1	1. Regulation does not apply to: a. Unoccupied accessory utility facilities, or b. Building pad sites where the pad site and the property leased for parking, landscaping, or other purposes exceed the minimum tract area.
	Lot frontage (ft)	30	
	Setbacks Front and street Rear and side	30 10	1. Side and rear setback distances may be modified to permit zero side and rear setbacks to accommodate joint wall construction and clustering of buildings. 2. Front setbacks may be modified from private streets and access corridors, provided front setbacks are maintained from all public streets. 3. Fences, landscaping, flagpoles, street furniture, transit shelters and slope stability structures are permitted in setback areas, provided that all other requirements are met; no other structures, and no accessory structures are permitted in setback areas. 4. <a href="#">Setbacks may be reduced to 50% if located adjacent to a non-residential zone and reduced by 25% if located adjacent to a residential zone through the GBP.</a>
	Landscaping	20 percent	
Maximum	Impervious surface area	80 percent	1. Industrial uses on sites less than 10 acres may exclude lined ponds that are part of a water treatment facility from impervious surface area calculations.
	Height (stories)		2. Maximum height in shoreline area is 35 feet. This height limit is restricted to that portion of the building physically

RZC 21.14: Commercial Regulations

	Without TDRs <u>or</u> <u>GBP</u> With TDRs <u>or</u> <u>GBP</u>	5 6	located within the shoreline jurisdiction. This height restriction does not apply to rock crushing equipment, asphalt and concrete batch plants, silos and other related equipment necessitated to meet environmental controls and structures housing manufacturing facilities which require more clear space than by a 35-foot height limit. The maximum height limit for these features shall be 90 feet. (SMP)
	FAR Without TDRs <u>or</u> <u>GBP</u> With TDRs <u>or</u> <u>GBP</u>	0.5 1.0	2. All legal lots are entitled to 10,000 square feet GFA without the use of TDRs <u>or</u> <u>GBP</u> provided that other site requirements can be met.

(D) Allowed Uses and Basic Development Standards. The following table contains the basic zoning regulations that apply to uses in the Industry (I) zone. To use the chart, read down the left-hand column titled "Use." When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require land use permit approval. See RZC 21.76.020, Overview of the Development Process, for more information. Uses not listed are not permitted.

Section	Use	Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
<b>General Sales or Services</b>			
1	Automobile sales, service, or rental establishment	600 sq ft enclosed sales gfa (1.0, 1.0); and 2,500 sq ft open sales/rental display area (1.0, 1.0); and service bay (3.0, 3.0); and employee on maximum shift (1.0, 1.0)	<ol style="list-style-type: none"> <li>1. Repair only, except that auto and motorcycle sales may occupy up to 25 percent of the combined gross floor area.</li> <li>2. Shall not abut residential zone.</li> <li>3. Vehicle display area shall be outside of required parking and landscape areas.</li> <li>4. Vehicles shall be stored on paved surfaces.</li> <li>5. Advertising signs are not permitted on the outside of vehicles. Signs providing information about the vehicle, such as year, make, model, etc., may be displayed on the outside of or in the windows of vehicles.</li> <li>6. Outdoor loudspeaker systems are prohibited.</li> <li>7. Razor wire, chain link, and barbed wire fences prohibited on street or access frontage.</li> <li>8. Vehicle repair shall be conducted indoors.</li> </ol>
2	Professional services	1,000 sq ft gfa (2.0, 3.0)	1. Research and development services only.
3	Full-service restaurant	Employee on maximum shift (1.0, 1.0)	<ol style="list-style-type: none"> <li>1. Conditional use permit required. See RZC 21.76.070(K), Conditional Use Permit.</li> <li>2. Shall be located in multi-tenant building or a single building in a multi-building, multi-tenant complex.</li> <li>3. 50-person capacity, except when associated with manufacture of food or kindred products. In that case, maximum is 100 persons or 25 percent of combined gross floor area, whichever is less.</li> <li>4. Hours of operation limited to 6am-10pm.</li> </ol>
4	Cafeteria or limited service restaurant		
5	Caterer	1,000 sq ft gfa (2.0, 3.0)	
6	Food service contractor		

**Manufacturing and Wholesale Trade**

7	Manufacturing and wholesale trade	1,000 sq ft gfa (2.0, 3.0)	<ol style="list-style-type: none"> <li>1. Asphalt and concrete batch plants shall have direct access to arterials.</li> <li>2. Rock crushing equipment, asphalt, and concrete batch plants, silos and other related equipment may extend to a maximum height of 90 feet.</li> <li>3. Retail sales of goods manufactured on the premises, or accessory or secondary to the primary manufacturing and wholesale trade use, are permitted. Area devoted to retail sales shall not exceed the lesser of 10 percent of combined gross floor area or 1,000 square feet.</li> <li>4. One caretaker residence per parcel is permitted as an accessory use, and shall not exceed 1,500 square feet.</li> </ol>
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**Transportation, Communication, Information, and Utilities**

8	Rail transportation	1,000 sq ft gfa (2.0, 3.0)	
9	Road, ground passenger, and transit transportation		
10	Truck and freight transportation services		
11	Rapid charging station	Adequate to accommodate peak use	1. Shall not be located on a parcel that abuts a residential zone.
12	Battery exchange station		
13	Heliport facility	1,000 sq ft gfa (2.0, 3.0)	1. Conditional use permit required. See RZC 21.76.070(K), Conditional Use Permit.
14	Communications and information		
15	Large Satellite Dishes/Amateur Radio Antenna(s)	Adequate to accommodate peak use	See RZC 21.56, Wireless Communication Facilities.
	Antenna Array and Base Station		
16	Antenna Support Structures		
17	Regional utilities		
18	Local utilities		
19	Incidental hazardous waste treatment and storage	1,000 sq ft gfa (2.0, 3.0)	1. Measures shall be taken in the construction of structures, design of storage areas, and design of delivery areas to prevent release of materials including those resulting from a "worst case" accident and including consideration of large storms where areas are not covered.
20	Primary hazardous waste treatment and storage		2. Hazardous materials shall not cause fumes, unpleasant odors, or harm to others in the course of normal handling. This shall not preclude the handling of materials with the use of approved filters, hoods, scrubbers, or other methods of removing odors or harm.

**Arts, Entertainment, and Recreation**

21	Natural and other recreational parks	1,000 sq ft gfa (2.0, 3.0)	
22	Adult entertainment facilities		<ol style="list-style-type: none"> <li>1. Conditional use permit required. See RZC 21.76.070(K), Conditional Use Permit.</li> <li>2. See RZC 21.18, Adult Entertainment.</li> </ol>

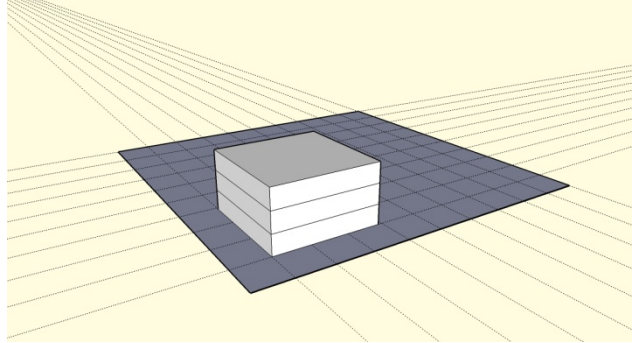
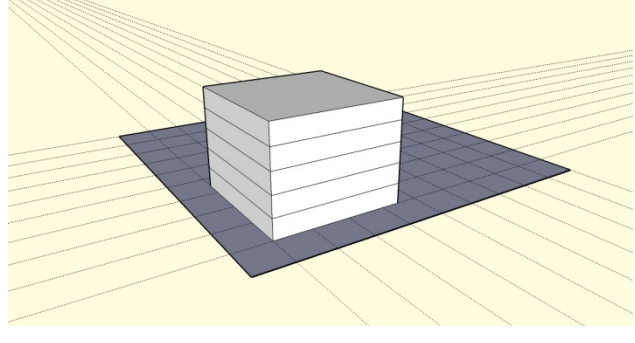
<b>Education, Public Administration, Health Care, and other Institutions</b>			
23	Secure community transition facility	Adequate to accommodate peak use	1. Conditional use permit required. See RZC 21.76.070(K), Conditional Use Permit. 2. See RZC 21.76.070(M), Essential Public Facilities.
<b>Construction-related Businesses</b>			
24	Construction-related businesses	1,000 sq ft gfa (2.0, 3.0)	
<b>Mining and Extraction Establishments</b>			
25	Mining and extraction establishments	1,000 sq ft gfa (2.0, 3.0)	1. Conditional use permit required. See RZC 21.76.070(K), Conditional Use Permit. 2. Rock crushing equipment, asphalt, and concrete batch plants, silos and other related equipment may extend to a maximum height of 90 feet. 3. Extraction shall occur during daylight hours; nighttime trucking is permitted. 4. Uses shall have direct access to arterials. 5. Uses shall minimize noise and lighting impacts by using noise suppression devices and light shielding, and by using landscape buffers to screen lighting from adjacent shoreline areas.
<b>Other</b>			
26	Solid waste transfer and recycling	1,000 sq ft gfa (2.0, 3.0)	

(E) Cross-references. For information on how to measure various site requirements like height and setbacks, see RZC 21.16.010, Site Requirements How-To. See RZC 21.16.020, Other Applicable Regulations, for information on other standards that may apply to you.

## 21.14.060 Gateway Design District

(A) Purpose. The purpose of the Gateway Design District (GDD) is to provide an area for the location of high-technology research and development facilities; associated light assembly and warehousing; other manufacturing uses with similar character, intensity and impact; support services; regional retail/wholesale uses with or without compatible uses; office uses, including corporate headquarters and regional offices; and hotels and motels. A mix of research and development, office, hotel/motel and regional retail/wholesale uses are encouraged to diversify and increase the employment and revenue base of the community. Development in the zone should provide a high-quality, aesthetically pleasing gateway into the City's corporate limits.

(B) Maximum Development Yield.

	Base	Bonuses Available, and Quantity	Maximum	Example of a 3-story building with FAR = 0.25	Example of 5-story building with FAR = 0.60
Floor area ratio (FAR)	0.25 to 0.5 (use dependent)	TDRs: 0.10 <a href="#">GBP: 0.10</a>	0.60		
Height	3 stories	Exactly 1 administrative services building may be 5 stories in height	5 stories		

(C) Regulations Common to All Uses.

	Regulation	Standard	Exceptions and Notes
Minimum	Setbacks Perimeter Internal, side, rear	35 20	1. For the purpose of determining setbacks in this zone: a. Perimeter streets are Avondale Road, Union Hill Road, 178 <sup>th</sup> Place NE, Redmond Way, and 180 <sup>th</sup> Avenue NE. b. Internal streets are all other streets in the zone. 2. <a href="#">Setbacks may be reduced by 50% if located adjacent to a non-residential zone and reduced by 25% if located adjacent to a residential zone through the GBP.</a>
	Landscaping	25 percent	
Maximum	Lot coverage	35 percent	
	Height (stories)	3	1. Maximum height of structures or portions of structures located above parking shall not include the distance between the finished grade of the parking surface and the structure, or the stories of the structure devoted to parking. 2. Maximum height in shoreline areas is 35 feet.

(D) Allowed Uses and Basic Development Standards. The following table contains the basic zoning regulations that apply to uses in the Gateway Design District (GDD) zone. To use the chart, read down the left-hand column titled "Use". When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require land use permit approval. See RZC 21.76.020, Overview of the Development Process for more information. Uses not listed are not permitted.

Section	Use	Maximums		Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		FAR			
		without TDRs or GBP	with TDRs or GBP		
<b>General Sales or Services</b>					
1	Auto sales, service, or rental establishment	0.25	0.35	1,000 sq ft gfa (4.0, 5.0)	<ol style="list-style-type: none"> <li>1. Only sales of auto and marine parts and accessories permitted.</li> <li>2. These uses shall be located on the same development site as a regional retail/wholesale use and shall be bound by a legal instrument recorded on the property, such as a binding site plan, that provides for shared, common parking and shared access with the regional retail/wholesale use. Only one of these uses, composed of a single commercial establishment, shall be allowed per regional retail/wholesale establishment. An existing development site containing a regional retail/wholesale use may not be enlarged in order to develop one of these uses. No driveways may be added to an existing development site containing a regional retail/wholesale use with the development of one of these uses.</li> </ol>
2	Heavy consumer goods, sales, or service				
3	Durable consumer goods, sales, or service				
4	Consumer goods sales or service, other than heavy or durable				
5	Grocery, food, and beverage				
6	Finance and insurance	0.50	0.60	1,000 sq ft gfa (2.0, 3.0)	1. Permitted only as a service internal to another permitted use.
7	Real estate services				
8	Professional services				
9	Administrative services				
				1,000 sq ft gfa (3.0, 4.0)	2. Walk-in service to general public prohibited.

Section	Use	Maximums		Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		FAR			
		without TDRs or <u>GBP</u>	with TDRs or <u>GBP</u>		
10	Travel arrangement and reservation offices			1,000 sq ft gfa (2.0, 3.0)	
11	Investigation and security services				
12	Services to buildings and dwellings				
13	Full-service restaurant			1,000 sq ft gfa (9.0, 9.0)	
14	Cafeteria or limited service restaurant			1,000 sq ft gfa (10.0, 10.0)	
15	Hotel or motel			Assembly uses: 1,000 sq ft gfa (10.0, 10.0), or number of fixed seats (0.2, 0.2) Other uses: Rental room (1.0, 1.0)	
<b>Manufacturing and Wholesale Trade</b>					
16	Manufacturing and wholesale trade	0.50	0.60	1,000 sq ft gfa (2.0, 3.0)	1. Only wholesale trade and warehouse and storage services permitted.
<b>Transportation, Communication, Information and Utilities</b>					
17	Communications and information	0.50	0.60	1,000 sq ft gfa (2.0, 3.0)	1. Shall not be located on a parcel that abuts a residential zone.
18	Rapid charging station			Adequate to accommodate peak use.	
19	Battery exchange station				
20	Large Satellite Dishes/Amateur Radio Antenna(s)			Adequate to accommodate peak use.	
21	Antenna Support Structures				
22	Antenna Array and Base Station				RZC 21.56, Wireless Communication Facilities.
<b>Arts, Entertainment, and Recreation</b>					



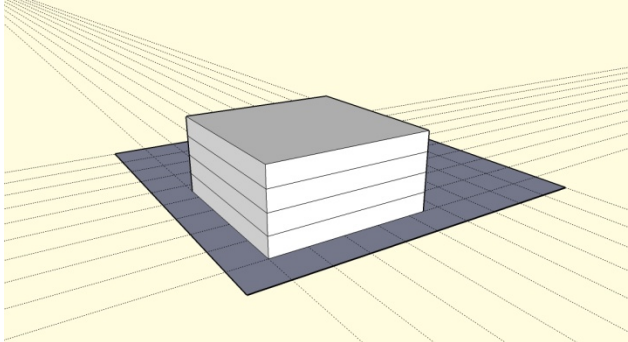
Section	Use	Maximums		Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		FAR			
		without TDRs or <u>GBP</u>	with TDRs or <u>GBP</u>		
23	Adult Entertainment Facilities	0.50	0.60	1,000 sq ft gfa (2.0, 3.0)	1. Conditional use permit required. See RZC 21.76.070(K), Conditional Use Permit. 2. See RZC 21.18, Adult Entertainment.
<b>Education, Public Administration, Health Care, and other Institutions</b>					
24	Technical, trade, and other specialty schools	0.50	0.60	1,000 sq ft gfa (2.0, 3.0)	1. Play equipment shall be located no less than 10 feet from any property line. 2. Shall not be located closer than 300 feet from existing day care operation in residential zone.
25	Public administration			Employee on maximum shift (1.0, 1.0)	
26	Day care center				

(E) Cross-references. For information on how to measure various site requirements like height and setbacks, see RZC 21.16.010, Site Requirements How-To. See RZC 21.16.020, Other Applicable Regulations, for information on other standards that may apply to you.

**21.14.070 Bear Creek Design District**

(A) Purpose. The purpose of the Bear Creek Design District is to provide development potential on the upland portion of the Bear Creek Design District in the northwest portion of the site in a comprehensive master plan that would allow for the permanent protection of Bear Creek, its riparian corridor, and associated wetlands and floodplains. The Design District provides for the location of retirement residence facilities, associated limited support services, and affordable housing for employees. The Design District will provide critical links in the Bear and Evans Creek Greenway System, an important planned regional trail along Bear and Evans Creeks. The balance of the undevelopable portion of this district will be established as a wetland mitigation banking site.

(B) Maximum Development Yield.

	Base	Bonuses Available, and Quantity	Maximum	Example of a 4-story building with FAR = 0.80
Floor area ratio (FAR)	0.80	None	0.80	
Height	4 stories	None	4 stories	

(C) Regulations Common to All Uses.

- (1) Maximum height of structures or portions of structures located above parking shall not include the distance between the finished grade of the parking surface and the structure, or the stories of the structure devoted to parking.
- (2) Maximum height in shoreline areas is 30 feet.
- (3) Impervious surface area resulting directly from the Bear and Evans Creek Trail and Greenway is exempt from impervious surface area calculations.

(D) Allowed Uses and Basic Development Standards. The following tables contain the basic zoning regulations that apply to uses in the Bear Creek Design District (BCDD) zone. To use the chart, read down the left-hand column titled “Use.” When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require land use permit approval. See RZC 21.76.020, Overview of the Development Process for more information for more information. Uses not listed are not permitted.

**Performance Area 1**

Section	Use	Minimums	Maximums				Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Setbacks (ft) for 1- and 2-story, 3- story, and 4- story structures, respectively	Lot coverage	Impervious surface area	Height (stories)	FAR		
<b>Residential</b>								
1	Housing services for the elderly	Avondale: 15, 75, 150 Other property lines: 10, 75, 100	30%	65%	4	0.80	Dwelling unit (1.0, 1.0)	<ol style="list-style-type: none"> <li>Ten percent of the total number of dwelling units (including those built for employees) shall be affordable to individuals or families earning up to 80 percent of area median income. Applicant is allowed to apportion affordable units to buildings as applicant sees fit.</li> <li>Applicant is entitled to number of TDRs equal to number of affordable units provided.</li> <li>A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</li> </ol>
2	Detached dwelling unit						Studio (1.2, 1.2) 1 bdrm (1.5, 1.5) 2 bdrm (1.8, 1.8) 3+ bdrm (2.0, 2.0)	<ol style="list-style-type: none"> <li>Permitted only to house employees and the families of housing services for the elderly.</li> <li>Ten percent of the total number of dwelling units (including those built as housing services for the elderly) shall be affordable to individuals or families earning up to 80 percent of area median income. Applicant is allowed to apportion affordable units to buildings as applicant sees fit.</li> <li>Applicant is entitled to number of TDRs equal to number of affordable units provided.</li> <li>See RZC 21.20, Affordable Housing, for additional guidance.</li> </ol>
3	Multifamily structure							
<b>General Sales or Services</b>								
4	Finance and insurance	Avondale: 15, 75, 150 Other property lines: 10, 75, 100	30%	65%	4	0.80		<ol style="list-style-type: none"> <li>Permitted only as internal service to residents and guests of housing services for the elderly.</li> </ol>
<b>Transportation, Communication, Information, and Utilities</b>								
5	Antenna Array and Base Station	Avondale: 15, 75, 150	30%	65%	4	0.80	Adequate to accommodate	See RZC 21.56, Wireless Communication Facilities.

Section	Use	Minimums	Maximums				Parking ratio: unit of measure (min. required, max. allowed)	Special Regulations
		Setbacks (ft) for 1- and 2-story, 3- story, and 4- story structures, respectively	Lot coverage	Impervious surface area	Height (stories)	FAR		
6	Antenna Support Structures	Other property lines: 10, 75, 100					peak use	
<b>Arts, Entertainment, and Recreation</b>								
7	Natural and other recreational parks	Avondale: 15, 75, 150 Other property lines: 10, 75, 100	30%	65%	4	0.80	Adequate to accommodate peak use	
<b>Education, Public Administration, Health Care, and other Institutions</b>								
8	Ambulatory or outpatient care services	Avondale: 15, 75, 150 Other property lines: 10, 75, 100	30%	65%	4	0.80		1. Permitted only as internal service to residents and guests of housing services for the elderly.
9	Nursing, supervision, and other rehabilitative services							
10	Social assistance, welfare, and charitable services							
11	Colleges and universities							
<b>Agriculture, Forestry, Fishing, and Hunting</b>								
12	Crop production	Avondale: 15, 75, 150	0	0	0	0		1. Permitted until such time that a state-approved wetland mitigation bank is established; at that time, crop production in shall cease.
13	Wetland mitigation banking	Other property lines: 10, 75, 100						

**Performance Area 2**

Section	Use	Maximums			Special Regulations
		Lot coverage	Impervious surface area	FAR	
1	Natural and other recreational parks	0	0	0	
<b>Agriculture, Forestry, Fishing, and Hunting</b>					
2	Crop production	0	0	0	1. Permitted until such time that a state-approved wetland mitigation bank is established; at that time, crop production shall cease.
3	Wetland mitigation banking				

(E) Site and Design Requirements.

- (1) Where conflicts between this chapter and other chapters of the Redmond Zoning Code exist, the provision of this chapter shall control.
- (2) Development in this zone shall substantially conform to the conceptual site plan submitted as an exhibit to Ordinance 2370 adopting this chapter.
- (3) As a condition of site plan entitlement, the applicant shall convey to the City the following easements:
  - (a) Conservation easements for all BCDD land outside PA-1 not already conveyed or purchased for other purposes, such as the wetland mitigation bank and trail easements.
  - (b) Easements through the southern and eastern portions of the site, as depicted on the Bear and Evans Creek Confluence-Open Space Plan, to allow the City of Redmond to connect City trails.
- (4) Buildings shall be designed to achieve LEED, BuiltGreen, or other similar green building specifications. Certification shall include third-party auditing.
- (5) Site design shall incorporate low-impact development technologies to the extent feasible and practicable, including, but not limited to, infiltration of non-pollution-generating stormwater and use of pervious paths.
- (6) The piped and culverted subterranean watercourse that flows southwest from the northwest corner of the site shall be rerouted.

- (a) For the portion of the watercourse that is within PA-1, the rerouting and daylighting shall occur in the following manner:
    - (i) The watercourse riparian corridor shall contain plantings that reinforce the bank structure and provide shade;
    - (ii) The design of the riparian corridor shall, to the extent possible within the limited space, mimic naturally occurring riparian corridors with respect to native vegetation, shading, and the provision of meander spaces;
    - (iii) The corridor shall not contain impervious surfaces, but may be bridged for up to four vehicle crossings and two pedestrian crossings; those crossings shall conform to Washington State Department of Fish and Wildlife standards for culvert crossings allowing fish passage;
    - (iv) Crossings shall minimize adverse impacts to the stream corridor;
    - (v) The average width of the corridor shall measure no less than 15 feet; in no case shall the corridor measure less than 10 feet across.
  - (b) The portion of the watercourse that is within PA-2 shall be treated as a Class II stream, and the project proponent shall enhance the channel, banks, and required buffers from its entrance into PA-2 to the confluence with Bear Creek. This enhancement shall include, at a minimum, planting of native trees, shrubs and herbaceous species and incorporation of large woody debris (e.g., snags, root wads, and downed logs) for enhancement of fish and wildlife habitat.
- (7) Landscaping and Vegetation Preservation.
- (a) In addition to landscaping standards described in RZC 21.32, Landscaping and RZC 21.64.060, Tree Protection, the following standards shall apply:
  - (b) All pervious surfaces shall be landscaped, except those areas to be preserved in or restored to natural conditions, areas such as pervious pathways, and areas within PA-1 in the 100-year FEMA floodplain.
  - (c) Up to 20 percent of the required landscape area may be met by providing pedestrian plazas for gathering.
- (F) Cross-references. For information on how to measure various site requirements like height and setbacks, see RZC 21.16.010, Site Requirements How-To. See RZC 21.16.020, Other Applicable Regulations, for information on other standards that may apply to you.

## 21.67 Green Building and Green Infrastructure Incentive Program (GBP)

21.67.010 Purpose.

21.67.020 Applicability.

21.67.030 Required Elements.

21.67.040 Techniques and Incentives for Development

21.67.050 Techniques Explained.

21.67.060 Incentives Explained.

21.67.070 Neighborhood and Supplemental Requirements

21.67.080 Green Building Standards

### 21.67.010 Purpose.

(A) The purposes of the Green Building and Green Infrastructure Incentive Program (GBP) provisions are to:

- (1) Provide incentives to implement green building and green infrastructure development techniques in all types of development within the City
- (2) Reduce the carbon footprint of existing and proposed developments by promoting energy efficient design and construction methods
- (3) Reduce the negative impact of development on the natural environment by reducing impacts through green development techniques and mitigating environmental impacts;
- (4) Reduce development costs related to construction and the provision of utilities;
- (5) Manage stormwater in a way that mimics natural stormwater management; and

### 21.67.020 Applicability.

- (A) The provisions of this chapter specific to residential incentives and bonuses may be applied to residential developments in the Neighborhood Commercial (NC) zone and all residential (R) zones, including new single-family, and multi-family developments, applied in conjunction with the requisite land use permit, such as a subdivision, binding site plan, or site plan entitlement.
- (B) This chapter does not eliminate the requirement to obtain a conditional use permit if required, unless specifically noted in this section.
- (C) The provisions of this chapter specific to non-residential incentives and bonuses can be applied to developments in all Downtown Zones, OV1-5, GDD, GC, OBAT, BP, MP and I zones. They may apply to new construction and additions to non-residential and mixed-use buildings, in conjunction with the requisite required land use entitlement permit, such as a master planned development.

~~conditional use permit, binding site plan, boundary line adjustment or site plan entitlement. The non-residential incentive program and related sections as well as the option of 4 Star King County Built Green Certification in the residential incentive program shall be in effect until January 1, 2013, after which compliance with RZC 21.73.080, Green Buildings Standards, shall be required.~~

(D) Not all incentives established in this chapter apply to all types of land development.

### **21.67.030 Required Elements.**

(A) Site Review.

(1) As part of the pre-application conference or other initial land use permit application meeting with the City, the applicant shall submit specific elements required as part of this program in accordance with the applicable submittal checklist and include a brief report outlining how the site's features lend themselves to the application of green infrastructure (i.e., low impact development) techniques.

a site plan generally identifying the following:

~~(a) Areas of predominantly native, non-invasive vegetation;~~

~~(b) Other general vegetation characteristics, such as health, density, suitability to existing location, whether or not it appears to be naturally occurring, whether it connects to off-site native vegetation, and whether and how it appears to be reclaiming previously disturbed land;~~

~~(c) Natural hydrologic features such as streams, wetlands, seeps, and springs;~~

~~(d) Slope characteristics;~~

~~(e) Wellhead Protection Zone number(s), classification(s).~~

~~(2) The review described in subsection (A)(1) of this section shall be general in nature and is expected to require minimal, if any, consultation with technical experts.~~

~~(3) The applicant shall attach to the general site review a brief report describing how the site's features lend themselves to the application of green infrastructure (i.e., low impact development) techniques. The report shall include, at a minimum, a list of potentially appropriate techniques and a brief description of how the site analysis supports the applicant's conclusion that those techniques may be appropriate. A list of potential techniques can be found in the Low Impact Development Technical Guidance Manual for Puget Sound, or its successor.~~

(B) All proposals incorporating native soil preservation or restoration, permeable materials, green roofs, minimal excavation foundations, or bioretention (described below in RZC 21.73.060, Techniques Explained), shall require a "Site Assessment for LID" consistent with the requirements of the



Redmond Stormwater Technical Notebook. The “Site Assessment for LID” is optional for proposals submitted under this chapter that do not incorporate the techniques listed above.

- (C) **Operations and Maintenance.** As a condition of approval, the City shall require a maintenance agreement to be prepared and distributed to property owner(s) for projects employing on-site stormwater management facilities that will be privately maintained. The maintenance agreement shall conform to the requirements of the Redmond Stormwater Technical Notebook, Chapter 2, Section 2.5.10, or its successor. The agreement shall legally bind current and future property owners to maintain the stormwater facilities in perpetuity. Notice of the agreement shall be provided on the face of the plat, short plat, binding site plan or boundary line adjustment, if applicable.
- (D) **Notice.** As a condition of approval, the following notice shall be recorded against properties, excluding commonly owned tracts, on which privately maintained stormwater management facilities will be located: “This property contains a stormwater management facility, such as a green roof or rain garden, that the owner of this property is required to maintain. Stormwater management facilities help collect, treat, and discharge or infiltrate rainwater. These facilities protect public health and safety, and protect the health of the natural environment. For more information about the facilities located on your property, refer to the stormwater facility maintenance agreement provided by the developer of this property, a copy of which is on file with the City of Redmond.”

**21.67.040 Techniques and Incentives for Development.**

Techniques and Incentives Tables. The tables below summarize the sustainable development techniques for which points are awarded and the incentives toward which points may be used based on the type of development proposed. Sections, RZC 21.67.050 and 21.67.060 explain the techniques and incentives. Definitions and descriptions of on-site natural stormwater management techniques can be found in the most recently adopted edition of the Redmond Stormwater Technical Notebook or its successor document.

**(A) Green Building and Green Infrastructure Incentive Program Techniques**

Technique	Points Awarded – Residential Development	Points Awarded –Non-Residential Development
1. Site assessment	2 (when optional)	2 (when optional)
Assessments plus identification of amenities	1 additional	1 additional
<b>2. Green Building Certification</b>		
4-star/LEED silver*	2*	N/A
5-star/LEED gold*	3*	N/A
3. Drought-tolerant landscaping	1	1
<b>4. Native vegetation retention</b>		
20 percent	1	1
30 percent	2	2
50 percent	3	3
<del>5. Native soil preservation</del>	<del>4</del>	<del>4</del>
<del>6. Native soil restoration</del>	<del>2</del>	<del>2</del>
<b>5. Impervious surface area reduction</b>		
10 percent	1	1

20 percent	2	2
6. Permeable materials		
50 percent	1	1
100 percent	2	2
7. Green Roofs		
First 10,000 sq. feet of green roof area proposed under this program	1 point per 1,000 sq. feet of green roof area	1 point per 1,000 sq. feet of green roof area
Next 20,000 sq. feet of green roof area proposed under this program	1 point per 2,000 sq. feet of green roof area	1 point per 2,000 sq. feet of green roof area
25 percent of roof area	1	1
50 percent of roof area	2	2
8. Roof rainwater collection		
	1	1
9. Minimal excavation foundation		
First 10 structures constructed under this program using this technique	1 point per structure	1 point per structure
Next 20 structures constructed under this program using this technique	1 point per two structures	1 point per two structures
Thereafter, developments using this technique for all structures	3	3
10. Bio-retention or infiltration		
50 percent detained or infiltrated	1	1
75 percent detained or infiltrated	2	2
100 percent detained or infiltrated	3	3
11. Water Sense Program		
	2	N/A
12. Alternative forms of energy that power 50 percent of the building's energy needs		
	<u>3</u>	<u>3</u>
13. Two Electric Vehicle Charging Stations located on site or 5 percent of required parking spaces reserved for low-emission vehicles		
	N/A	1
14. Demonstrate ability to meet Salmon Safe Certification Program or equivalent in alternative certification program		
	<u>3</u>	<u>3</u>
15. Demonstrate ability to meet LEED silver standards or equivalent in		
	N/A	<u>3</u>

alternative certification program		
16. Demonstrate ability to meet LEED Gold standards or equivalent in alternative certification program	N/A	5
17. Demonstrate ability to meet LEED Platinum standards or equivalent in alternative certification program	N/A	7
18. Demonstrate ability to meet Evergreen Sustainable Development Standard or equivalent in alternative certification program	4	N/A

\* Points shall not be awarded for ~~4 Star Green Building certification such as LEED or Built Green beginning January 1, 2013.~~

**(B) Green Building and Green Infrastructure Incentive Program Incentives**

Incentive	Points Required Residential Development	Points Required – Non-Residential Development
1. Sustainable development award	0	0
2. Priority building permit processing	0	0
3. Online and print recognition	2	2
4. Unit type flexibility		
Duplex	3	N/A
Triplex	4	N/A
Fourplex	5	N/A
5. Lot size reduction		
15 percent	2	N/A
25 percent	3	N/A
30 percent	4	N/A
6. Density bonus		
5 percent	3	N/A
10 percent	5	N/A
7. Clustered node	4	N/A
8. Alternative road standard	2	N/A
9. Parking Requirement Reduction	N/A	2
8. FAR Bonus*	5	5
9. Building Setback Flexibility*	N/A	3
10. Height Bonus*	N/A	4

\* Where permitted in the underlying zone and shall be permitted without the purchase of TDR's (see RZC 21.73.070, Techniques Explained)

Note: Storm water infrastructure requirements are based in part on impervious area. Use of the methods in the Techniques Table above is likely to reduce infrastructure costs – an additional incentive.

**21.67.050 Techniques Explained.**

Many of the techniques below are described in more detail in the most recent edition of the Redmond Stormwater Technical Notebook. These techniques, as explained, apply to both residential and non-residential developments provided they are an identified option in their respective tables above (21.67.040(A)).

(A) Site Assessment. (Three points possible)

- (1) In addition to the required site review described in RZC 21.67.030(A), no later than the time of land-use permit application, the applicant shall prepare a "Site Assessment for LID" consistent with the requirements of the Redmond Stormwater Technical Notebook. The "Site Assessment for LID" is required when certain natural stormwater management techniques are used (see RZC 21.67.030 (B)). When this technique is optional, it shall be worth two points.
- (2) No later than the time of land use permit application the applicant shall describe in written and graphic form how some or all of the elements identified in subsection (1)(a) of this section will be used as amenities for future residents or occupants. This shall, at a minimum, include identification of open space tracts, nonmotorized trail corridors, or both, that would not ordinarily be required. (One point)

(B) Residential Green Building Certification. Use the table below to determine the appropriate type of green building certification for the proposed development. Applicants may certify using BuiltGreen, LEED, or another program determined by the Technical Committee to have similar standards.

Development Type	Certification Level	Points Awarded
Single-family development	BuiltGreen 4-star/LEED for Homes silver <sup>4</sup>	2 if all units are certified
	BuiltGreen 5-star/LEED for Homes gold <sup>1</sup>	3 if all units are certified
<u>Multi-family development</u>	BuiltGreen 3-star/LEED for New Construction certified	1 if all buildings are certified
	BuiltGreen 4-star/LEED for New Construction silver <sup>2,4</sup>	2 if all buildings are certified
	BuiltGreen 5-star/LEED for New Construction gold <sup>2, 3</sup>	3 if all buildings are certified

<sup>1</sup> One unit or 20-51 percent of all units, whichever is greater, shall be certified at the 5-star/LEED gold level; all others shall meet or exceed the 4-star/LEED silver level.

<sup>2</sup> Applicants may certify using BuiltGreen only if 4-star or 5-star levels are available for the particular development type. Otherwise, proponents must certify using LEED or a similarly rigorous protocol.

<sup>3</sup> One residential building, or buildings comprising at least 20 percent of the residential units, whichever is greater, shall be certified at the 5-star/LEED gold level; all others shall meet or exceed the 4-star/LEED silver level.

<sup>4</sup> Points shall not be awarded for meeting Built Green 4-star beginning January 1, 2013.

(C) Drought-Tolerant Landscaping. (One point)

(1) All required street and open space tract landscaping areas shall be landscaped with drought-tolerant, noninvasive vegetation appropriate for site conditions, including but not limited to levels of moisture, shade, slope, wind, types of local wildlife, and proximity to existing or future dwellings. Recreation areas, such as for pick-up games and picnicking, and private yard areas, except as noted in subsection (E)(3)(b) of this section, are specifically exempt from this requirement. In those areas, the use of noninvasive drought-tolerant landscaping is encouraged. Applicants shall choose from the Drought-Tolerant Plants section of The Plant List or its successor, published by the Saving Water Partnership, or shall choose other species that meet the requirements of this subsection, as determined by the Administrator.

(2) ~~For residential projects, a~~ minimum of 51 percent of the planted area in the front yard of each lot shall be native and appropriate for site conditions, including but not limited to levels of moisture, shade, slope, wind, types of local wildlife, and proximity to existing or future dwellings. ~~For residential projects, this option shall refer to 51% of the planted area in the front yard of each lot. For non-residential projects, this option shall refer to 51% of the planting area anywhere on the site.~~ Plantings shall include a mix of trees or shrubs and living ground cover. Applicants shall choose from the Favorite Pacific Northwest Native Plants section of The Plant List or its successor, published by the Saving Water Partnership, or shall choose other species that meet the requirements of this subsection, as determined by the Administrator. Native plantings shall be identified on landscaping plans.

~~(3) Landscaping plans are required and shall be completed by a certified landscape architect or certified nurseryman.~~

(D) Native Vegetation Retention. ~~For residential development, 20 percent (one point), 30 percent (two points), or 50 percent (three points) of the native vegetation area shall be retained in native vegetation and set aside in native growth protection areas. For non-residential development, 10 percent (one point), 20 percent (two points), or 30 percent (three points) of the native vegetation area shall be retained and set aside in native growth protection areas.~~

(1) For calculation purposes, total native vegetation area shall include the following, in order from highest priority to lowest priority:

- (a) Critical areas and associated buffers;
- (b) Forested stands of native trees, including a five-foot buffer from the exterior dripline;
- (c) Contiguous areas of native vegetation;
- (d) Other native trees, including a five-foot buffer from the dripline; and
- (e) Noncontiguous areas of native vegetation.

(2) Once calculated, native vegetation shall be preserved in the following ways, in order from highest priority to lowest priority:

- (a) In critical areas tracts, when critical areas are being preserved;
  - (b) In native growth protection easements;
  - (c) As common open space;
  - (d) For residential projects, on individual lots in areas no less than 100 square feet, where no dimension is less than 10 feet, and where the native vegetation is delineated with a split rail fence.
- (3) When a lower priority area is proposed for retention instead of a higher priority area, the applicant shall:
- (a) Provide a written explanation of why the higher priority area is not proposed to be retained; and
  - (b) Enhance the lower priority vegetation according to a native revegetation plan.
- (4) When native vegetation is proposed to be preserved in a lower priority manner before a higher priority manner, the applicant shall provide a written explanation of why the higher priority method of preservation is not proposed; the applicant shall demonstrate that the proposed preservation scheme meets the objectives of this chapter at least as well as the scheme described in subsection (E)(4)(c) of this section.
- (5) When required, a native revegetation plan shall conform to the following:
- (a) Plants shall be selected by a qualified professional based upon-site suitability and shall include a multilayer canopy at maturity of large trees (covering 50 percent of the plan area), small trees, and shrubs unless the professional determines in written form that the revegetation area is not suitable for such a mix;
  - (b) In native growth protection areas larger than 0.5 acres, the ratio of evergreens to deciduous trees shall be 2:1;
  - (c) Plantings shall be native to western Washington and suitable for the site and for suburban residential areas. Species shall be selected from the Favorite Pacific Northwest Native Plants section of The Plant List or its successor, published by the Saving Water Partnership, or from the guide, Plants of the Pacific Northwest Coast: Washington, Oregon or British Columbia and Alaska or as approved by the Administrator. Trees shall measure at least two-and-one-half inches in caliper (deciduous) or six feet in height (evergreen) at time of planting.
- (6) In the North Redmond neighborhood, native vegetation retention at the 50 percent level is required to use the 10 percent density bonus.

~~(E) Native Soil Preservation. (One point)~~

- ~~(1) The applicant shall preserve native soils in accordance with the guidelines contained in the Redmond Stormwater Technical Notebook.~~
- ~~(2) Restoring previously disturbed soils as described in the Notebook is required to earn two points.~~

~~(F) Native Soil Restoration. (Two points)~~

~~(1) In addition to preserving native soils in accordance with the guidelines contained in the Stormwater Technical Notebook, the applicant shall amend all soils that have been previously disturbed or that will be disturbed during construction of the proposed development in accordance with the guidelines contained in the Redmond Stormwater Technical Notebook.~~

~~(2) Points may be awarded for subsection (E) of this section, or this subsection, but not both.~~

~~(3) For residential developments, the use of this technique is required in the North Redmond neighborhood in order to use the density bonus incentive. In the North Redmond neighborhood, native soil restoration is required to use the five percent density bonus; native soil restoration and native vegetation retention at the 50 percent level are both required to use the 10 percent density bonus.~~

(GE) Impervious Surface Area Reduction. Maximum impervious surface area created through a development proposal pursuant to the requirements set forth in the zone use chart for the zone in which the property is located (RZC 21.08.020 through 21.08.140), shall be reduced by either at least 10 percentage points (one point) or at least 20 percentage points (two points) of the total site area (e.g., maximum impervious surface in the R-4 zone would be reduced from 60 percent to 50 percent for one point or 40 percent for two points). Impervious surface area may be calculated on a development-wide basis to provide lot-by-lot flexibility, per RZC 21.08.170(L)(2)(b).

(HE) Permeable Materials Use to Reduce Effective Impervious Surface Area.

(1) Permeable materials shall be used for 50 percent (one point) or 100 percent (two points) of proposed impervious surfaces, including but not limited to patios, walkways, sport courts, and sidewalk areas, subject to the provisions in subsections (8)(b) through (d) of this section.

(2) Permeable materials may be used on all soil types where information has been generated by a certified professional (e.g., a geotechnical engineer) and approved by the Public Works Director, demonstrating that the pervious material will function as designed.

(3) Permeable materials are allowed to replace pollution-generating impervious surfaces only in Wellhead Protection Zones 3 and 4, in accordance with the Stormwater Technical Notebook. Permeable materials may only replace non-pollution-generating impervious surfaces in Wellhead Protection Zones 1 and 2, in accordance with the Stormwater Technical Notebook.

(4) Permeable materials shall be considered a storm water facility and so must be included in the required maintenance agreement.

(5) In instances where the City prohibits permeable materials in the right-of-way, impervious surfaces within the right-of-way shall not count against the applicant when calculating the number of points earned through this subsection.

(IG) Green Roofs.

(1) Green roofs shall be designed according to the guidelines of the Redmond Stormwater Technical Notebook.

(2) Compliance with this stormwater management technique shall require review and approval by the Building Official.

(3) The first 10,000 square feet of green roof area proposed under this chapter shall earn one point per 1,000 square feet; the next 20,000 square feet of green roof area shall earn one point per 2,000 square feet; thereafter, applicants shall earn one point when designed for 25

percent of total project roof area and two points when designed for at least 50 percent of total project roof area.

(JH) Roof Rainwater Collection. (One point)

- (1) Rainwater from all roofs shall be collected for nonpotable water purposes (i.e., rainwater harvesting). Construction, design, and maintenance specifications for rainwater collection shall meet standards adopted in the most recent version of the Redmond Stormwater Technical Notebook.
- (2) This technique is only allowed when consistent with state law.

(KI) Minimal Excavation Foundation.

- (1) Construction, design, and maintenance specifications of minimal excavation foundations shall meet standards adopted in the most recent version of the Redmond Stormwater Technical Notebook.
- (2) The first 10 structures within a proposed development that are constructed using minimal excavation foundations shall earn one point per structure; the next 20 structures within a proposed development that are constructed using minimal excavation foundations shall earn one point per two structures; thereafter, developments incorporating minimal excavation foundations for all structures within a proposed development shall earn three points.

(LJ) Bioretention or Infiltration.

- (1) Where soils permit infiltration, infiltration elements shall infiltrate at least 50 percent (one point), 75 percent (two points) or 100 percent (three points) of the 50-year storm.
- (2) Where soils do not permit infiltration, bioretention elements, such as rain gardens and bioretention swales, shall detain at least 50 percent (one point), 75 percent (two points) or 100 percent (three points) of the six-month storm.

(K) Water Sense Program (two points)

- (1) Single family residential developments that comply with the EPA Water Sense Program shall be awarded two points
- (2) Points may be awarded for subsections (D) and (E) or this subsection, but not both.

(L) Alternative Energy (three points)

For non-residential developments, buildings or residences shall be designed with alternative energy systems that provide the building or residence with 50 percent of its energy needs through forms such as solar energy, wind energy, geothermal, biomass or other forms of alternative energy sources.

(M) Electric Vehicle Charging Station/Parking Reduction (one point)

One point can be earned either by installing two electric vehicle charging stations on-site or by providing reserved parking for electric vehicles, hybrids or plug in-hybrid electric vehicles for 5% of the total required vehicle parking on the site.

(N) Salmon Safe Program



For residential and non-residential developments, demonstrate ability to meet Salmon Safe Program standards or equivalent in alternative certification program project compliance.

(O) LEED Silver (three points)

For non-residential developments, demonstrate ability to meet LEED Silver standards or equivalent in alternative certification program project compliance.

(P) LEED Gold (five points)

For non-residential developments, demonstrate ability to meet LEED Gold standards or equivalent in alternative certification program project compliance.

(Q) LEED Platinum (seven points)

For non-residential developments, demonstrate ability to meet LEED Platinum standards or equivalent in alternative certification program project compliance.

(R) Evergreen Sustainable Development Standard

For residential developments, demonstrate ability to meet Evergreen Sustainable Development standards or equivalent in alternative certification program project compliance.

## **21.67.060 Incentives Explained.**

These incentives, as explained, apply to both residential and non-residential developments unless otherwise specified below or identified in the program incentive tables above (RZC 21.73.040(B)).

- (A) Sustainable Development Award. The City shall develop and maintain a Sustainable Development Award, to be awarded annually to no more than one residential project and one non-residential project that best implements the provisions of this chapter. The City reserves the right not to grant an award in a given year. (Zero points)
- (B) Priority Building Permit Processing. Building permit applications for projects that seek BuiltGreen 4-star or LEED silver certification or higher shall be eligible for the City's Green Expedited Permitting Program or its successor. ~~This program shall conclude on January 1, 2013 after which Green Building requirements are mandatory, as provided for in RZC 21.76.080~~ (Zero points)
- (C) Online and Print Recognition. The applicant may request that the City publish a "Featured Sustainable Development" article in a City newsletter and on the City website, and that the City publish a press release publicizing the sustainable development techniques used in the project. (Two points)
- (D) Unit Type Flexibility for Residential Development. (Three points for incorporating duplexes; four points for duplexes and/or triplexes; five points for duplexes, triplexes, and/or fourplexes)
  - (1) Two-unit, three-unit, and four-unit attached dwellings may be included in proposed subdivisions as permitted uses.
  - (2) Such structures shall comply with RZC 21.08.260, Attached Dwelling Units, except that such structures shall not be required to access directly to an arterial.

- (3) In no case shall the allowed density be exceeded unless allowed by neighborhood regulations, nor shall neighborhood or subarea requirements for attached dwelling unit permitting or separation be superseded.
- (4) When average minimum lot size is reduced through this chapter, the reduced average minimum lot size shall serve as the baseline for calculating the required minimum lot size for lots with attached dwelling units.
- (E) Lot Size Reduction for Residential Development. In residential zones where minimum average lot sizes apply, the minimum average lot size may be reduced up to 30 percent, depending on the number of points used, according to the table in subsection (D) of this section. The proposed average lot size of all lots included in a development shall define all other site requirements (as shown in zone use chart for the residential zone in which the property is located, RZC 21.08.020 through 21.08.140 with the exception of provisions relating to allowed density, which shall remain with the underlying zone, and of provisions otherwise modified by this chapter). For example, a subdivision in an R-4 zone with an average lot size of 4,900 square feet would be subject to the site requirements, with the noted exceptions, of an R-5 zone since that is the nearest zone to which the average lot size would apply. (Two points for 15 percent lot size reduction; three points for 25 percent; four points for 30 percent)
- (F) Density Bonus for Residential Development. Eligible developments shall be permitted a five percent or 10 percent density bonus, provided that the overall impervious surface of the development is not increased over what is allowed by this chapter. Use of cottages, size-limited dwellings, attached structures, and carriage units is encouraged to achieve the bonus. (Three points for up to five percent density bonus; five points for up to 10 percent).
- ~~(G) Parking Requirement Reduction for Non-Residential Development. Developments located in the Urban Centers can reduce the minimum number of parking spaces required by the underlying zone, by 25%, without the requirement for a parking study, provided that the proposed development is located within a ¼ mile of an existing transit stop. (Two points)~~
- ~~(HG) FAR Bonus for Non-Residential Development and Residential Development in the Neighborhood Commercial (NC) Zone. Eligible developments shall be granted a floor area bonus where permitted by the underlying zone without the purchase of Transfer of Development Rights (TDRs). (Five points)~~
- ~~(IH) Height Bonus for Non-Residential Development. Eligible developments shall be granted a height bonus where permitted by the underlying zone without the purchase of TDRs. (Four points)~~
- ~~(JI) Building Setback Flexibility for Non-Residential Development. Developments proposed in the GDD, GC, BP, MP and I zones shall be allowed to reduce setbacks by 50 percent, unless they are located adjacent to a residential zone, in which case they shall be allowed to reduce setbacks by 25 percent. The setback flexibility shall not apply to developments located along Willows Road, north of NE 95<sup>th</sup> Street which requires a 100 feet setback, as provided for in RZC 21.14.030(C). Setback reductions shall be required to comply with the International Building Code, Fire Resistive Rating based on separation distance. (Three points)~~
- (J) Clustered Node for Residential Developments. Applicants may propose clusters of up to three residential structures containing no more than five dwelling units. Clusters may include two unit

attached dwelling units or three unit attached dwelling units, but not four unit attached dwelling units.

- (1) Structures within nodes shall be subject to a six foot building separation requirement or the minimum separation required by the building code, whichever is greater. Citywide and neighborhood-specific building separation and setback requirements apply to the perimeter of the clustered node.
- (2) Minimum lot size, minimum lot width circle, and minimum lot frontage requirements do not apply within the node. Minimum lot sizes for lots within the node do count toward the minimum average lot size calculation. Points for reducing lot sizes are not required to propose a clustered node.
- (3) A clustered node must be separated from another clustered node on all sides by a single-family detached home, or lot or tract meeting size requirements for such, a street, or the height of the tallest structure within the clustered node, whichever is greatest.
- (4) Dwelling units within clustered nodes shall share vehicular access.
- (5) Applicants are encouraged to use techniques such as zero lot line, yard use easements, and other creative structure arrangement techniques to provide functional private open space.
- (6) Density bonus points are required when clustered nodes result in project densities that are in excess of the underlying maximum zone density. (Four points)

(K) Alternative Road Standard for Residential Developments. Applicants may propose local access streets that are consistent with the Green Infrastructure Street preliminary drawing, which is available from the Development Services Center. When this street is proposed, at least one on-street parking space shall be provided per dwelling unit proposed. The applicant may propose a lower standard if he/she submits a parking study demonstrating that a lower standard would adequately serve the development and not adversely impact the safety of residents or occupants in or near the development. (Two points)

### **21.67.070 Neighborhood and Supplemental Requirements.**

- (A) Nothing in this chapter shall supersede neighborhood-specific regulations or neighborhood plan policies and objectives except where specifically noted.
- (B) Single-family developments proposed through this chapter must meet residential architectural and site design standards specified in RZC 21.08.180.

### **21.67.080 Green Building Standards (Effective January 1, 2013)**

#### **(A) Purpose**

The purpose of this section is to mandate green building practices, focus on the environmental outcome of development, and encourage the following: resource conservation; reduction of waste generated by construction; reduction in the use of energy in both initial construction and daily operations; energy efficiency; the health and productivity of residents, workers, and visitors to the city; construction of environmentally sustainable municipal and privately owned structures; and reduction of greenhouse gas

emissions to mitigate the impacts of climate change. A further intent of this section is for the owners and occupants of new commercial buildings, offices, mixed-use buildings, and residences to gain the economic benefits of energy and water savings, and the health benefits of good indoor air quality.

(B) Scope:

This section shall apply to all new non-residential and mixed-use buildings, and existing buildings that undergo renovations of 5,000 square feet of gross floor area or greater within a three-year period. Additionally, this section shall apply to all new residential development. The provisions of this section shall not apply to buildings on the Redmond Historic Register or properties with a Historic Landmark designation.

(C) General Requirements:

- 1) (1) All non-residential development shall be designed to meet LEED Gold certification requirements or equivalent standards in one of the following programs:
  - (a) The International Green Construction Code;
  - (b) Living Building Challenge;
  - (c) Architecture 2030 Challenge; or
  - (d) Alternative green building programs that are of equivalent accreditation, as approved by the Administrator.
- (2) All residential developments shall achieve the requirements of the most current applicable King County Built Green 4-star program or other equivalent green building program as approved by the Administrator.
- a) (3) There shall be a period of twelve months from the time of adoption of a new version of LEED or alternate green building program, during which projects shall have the option to file under either the old or newly adopted version.
- (4) Compliance Documentation: Compliance with LEED Certification requirements or an alternate green building certification program shall be submitted in accordance with the applicable submittal requirements available from the Development Services Center.

# RMC Title 21

# Redmond Zoning Code



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### **21.02.010 Title**

This title shall be known and may be cited as the Redmond Zoning Code (RZC).

### **21.02.020 Authority**

The RZC is enacted under the authority granted to the City of Redmond by the Constitution of the State of Washington, the Optional Municipal Code (RCW Title 35A), and other sections of the Revised Code of Washington.

### **21.02.030 Legislative Intent**

The intent of the RZC is to provide regulations by which the citizens of the City can guide the development of their community in a logical and orderly manner, maintain a quality environment and provide for the conservation, protection and enhancement of the public health, safety and general welfare. The RZC provides for the implementation of the goals and policies of the Redmond Comprehensive Plan through the adoption, administration and enforcement of zoning maps, regulations, procedures, and programs.

The RZC provides the basis for designating land use zones, applying development and shoreline requirements, and regulating development in all areas of the City and provides pre-annexation zoning for areas presently outside the City but that may be annexed to the City in the future.

### **21.02.040 Severability**

The provisions of the RZC are declared to be severable. If any provision of the RZC or any code or document adopted by reference herein is for any reason held to be invalid or unconstitutional by any court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of the remaining provisions of the RZC. If any provision of the RZC is adjudged invalid or unconstitutional as applied to a particular property, use, building or other structure, the application of such portion of the RZC to other properties, uses, buildings, or structures shall not be affected.

### **21.02.050 Appendices**

The Redmond Municipal Code (RMC) grants the Technical Committee authority to adopt and amend technical regulations and standards in order to implement the provisions of the RZC and to govern construction details and the operation and maintenance of infrastructure required for development. These technical regulations and standards are found in the appendices to the RZC. Upon adoption by the Technical Committee, the appendices have the force of law and shall be complied with by all developers and property owners. In the event of any conflict between the appendices and the provisions of the RZC, the RZC shall control.

### **21.02.060 Relationship to Other Codes**

The RZC is part of a comprehensive program of regulation related to land use and development within the City. The RMC contains other regulations that relate, directly or indirectly, to land use and development, including but not limited to, RMC 1.16, Annexations, RMC Title 15, Buildings and Construction, RMC 3.10, Impact Fees, and RMC 6.36 Noise. In order to



understand all of the regulations that may relate to land use and development, readers are advised to consult both the RZC and the RMC.

### **21.02.070 Administrative User Guides**

A series of user guides have been developed to help users apply and understand various sections of the RZC. These guides may be obtained by contacting the Development Services Center. The user guides are created on an administrative basis and may be modified as such. Such user guides shall not be considered as part of the RZC.

# RZC 21.08 RESIDENTIAL REGULATIONS

*(Sections 21.08.010 through 21.08.160 are hereby maintained and not amended as part of City File No. L110209)*

*(Sections 21.08.190 through 21.08.320 are hereby maintained and not amended as part of City File No. L110209)*

*(Sections 21.08.340 through 21.08.390 are hereby maintained and not amended as part of City File No. L110209)*

## 21.08.170 Site Requirements for Residential Zones

- (A) Purpose. This purpose of this section is to establish basic site requirements for residential zones in Redmond. These requirements implement Redmond’s Comprehensive Plan, the Growth Management Act, the Multicounty Planning Policies, and the County-Wide Planning Policies, while also protecting Redmond’s residential areas from public nuisances, incompatible uses, and other hazards.
- (B) Site Requirements in Zone Use Charts. Each zone use chart in RZC 21.08.020 through 21.08.140 sets forth the basic dimensional standards for residential development in that zoning district. RZC 21.08.150 through 21.08.200 provide additional general requirements applicable to all zoning districts. Some site requirements may be modified as provided in RZC 21.08.150 through 21.08.200 and as provided in RZC 21.08.350, Innovative Housing Demonstration Projects.
- (C) Allowed Density.
  - (1) Purpose. The purpose of the allowed density requirement is to:
    - (a) Help maintain a consistent and compatible land use pattern in Redmond’s residential neighborhoods;
    - (b) Serve Redmond’s planned housing needs; and
    - (c) Prevent public nuisances that result from a lack of adequate open space and the over utilization of public facilities.
  - (2) Requirements. The allowed density, as shown in each residential zone use chart in RZC 21.08.020 through 21.08.140, represents the maximum number of dwelling units that may occupy an acre of land, exclusive of bonuses and exclusive of accessory dwelling units.
  - (3) Calculations. When calculating allowed density for any given site in the City, the gross area of the site is multiplied by the allowed density per acre that applies to the zone where the site is located. The result is the maximum number of units (other than ADUs) that may occupy that site.

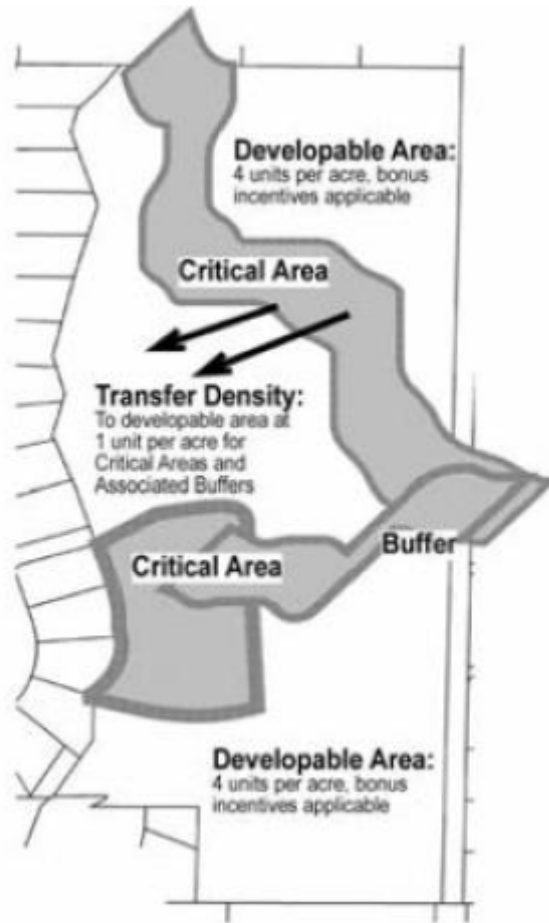
### Calculating Maximum Number of Dwelling Units:

Example:				
R-4 zone: Allowed density of 4 units per acre				
Gross Site Area: 21,780 sq. feet	x	4/43,560	=	2 maximum allowed dwelling units

- (4) North Redmond Residential Development and Conservation Overlay Density Transfer and Limitations. The Residential Development and Conservation Overlay zone is applied to those properties within the North Redmond Neighborhood and adjacent pre-annexation areas as shown on the Zoning Map. This designation establishes a maximum for the underlying zoning at R-4 in those areas determined to be developable in the Critical Areas Report, submitted at the time of application for development. Additionally, for those areas determined to be critical areas and the associated buffers, densities may be transferred to developable areas at a maximum of one unit

per acre. (See Figure 1 below). A rezone for higher densities beyond the established R-4, four units per acre, may not occur. In addition to the allowed density, bonus incentives are applicable as designated in the North Redmond Neighborhood Plan or elsewhere in the Redmond Zoning Code.

**Figure 1, North Redmond Residential Development and Conservation Overlay Density Transfer**



(D) Minimum Required Density.

(1) Purpose. The purpose of minimum required density is to:

- (a) Help establish a consistent and compatible land use pattern in Redmond residential neighborhoods;
- (b) Provide for the efficient use of land;
- (c) Provide for the efficient use of public facilities and services; and
- (d) Reduce public nuisances that often result when undeveloped areas are urbanized.

(2) Relationship to Allowed Density. While allowed density places an upper limit on the number of units that may be located on a site, the minimum required density establishes a lower limit. When taken together, the site calculations for allowed density and minimum required density create an upper and lower range that defines the number of units that may be built on a site, exclusive of accessory dwelling units. One important difference between allowed density and minimum required density is that allowed density is calculated using gross site area while minimum required density uses the net buildable area of a site.

(3) Requirements. The minimum required number of dwelling units for a site is equal to the site's net buildable area multiplied by the site's allowed or "zoned" density and multiplied again by the minimum required density percentage. The net buildable area calculation is explained below in subsection (D)(4) of this section. The minimum required density percentage, as well as the allowed density, for each residential zone is shown in the zone use charts in RZC 21.08.020 through 21.08.140.

(4) Net Buildable Area Calculation. Net buildable area, for the purpose of determining the minimum required number of dwelling units for a site, shall be calculated by subtracting areas where building is prohibited or subject to significant restrictions from the gross area of a site. The area remaining after these exclusions from the gross site area represents the net buildable area. The following exclusions from the gross site area, and only these exclusions, may be used in determining net buildable area:

- (a) Critical areas and shoreline areas where development is prohibited or restricted shall be excluded from the net buildable area. These critical areas and shoreline areas shall include: Landslide Hazard Areas; Category I through IV wetlands; Class I through IV streams; floodways; floodplains; critical areas buffers; the area waterward of the line of the ordinary high water mark on Lake Sammamish, regardless of the extent of ownership; lands required to be maintained in open space; and native growth protection easements.
- (b) Surface water retention areas that are dedicated or otherwise held in common shall also be excluded from the net buildable area.
- (c) Public rights-of-way, private streets and access corridors, parks and open space that are dedicated or otherwise held in common, and above-ground public facilities shall also be excluded from the net buildable area.
- (d) For example, where gross site area equals 87,120 square feet or two acres, the following calculation is made to determine net buildable area:

**Calculating Net Buildable Area**

Example:						
Gross Site Area: 87,120 sq. feet	-	Critical Areas and buffers: 6,100 sq. feet	-	Public rights-of-way: 15,680 sq. feet	=	Net Buildable Area: 65,340 sq. feet (1.5 acres)

(e) In order to avoid the expense of technically assessing a site's net buildable area, a builder/developer may elect to apply the minimum required density percentage to the gross area of the site instead of the net buildable area in order to determine the minimum required number of units.

(5) Minimum Required Density Calculation. The formula for determining a site's minimum required number of dwelling units is shown below.

**Calculating Minimum Required Density**

Net buildable area	x	Allowed density	x	Minimum required density percentage	=	Minimum required number of units
<p>Example:</p> <p>Gross site area = 87,120 sq. feet (2 acres)            Net buildable area = 65,340 sq. feet (1.5 acres)            Allowed density = 6 units per acre            Minimum required density percentage = 80 percent</p>						
Net buildable area: 1.5 acres	x	Allowed density: 6 units per acre	x	Minimum required density percentage: 80 percent (0.8)	=	Minimum required number of units: 7 (rounded down from 7.2)
<p>Required Unit Range for this Example:</p> <p>Maximum number of units allowed, excluding bonuses = 12 (see allowed density calculation in RZC 21.08.170(C)(3)).</p> <p>Minimum required number of units = 7</p>						

(6) Applicability/Exceptions. Minimum required density applies to all new residential development with the following exceptions:

- (a) The construction of any new dwelling unit on an existing lot of record;

- (b) The renovation or conversion of existing dwelling units provided that such a renovation or conversion does not result in a reduction in the number of dwelling units to a number below the minimum required;
- (c) An existing legal lot, with one existing home, being divided into two lots;
- (d) New development where 60 percent or more of the new units provided would be affordable to households earning 50 percent or less of median income for the Seattle Metropolitan Statistical Area (see RZC 21.20, Affordable Housing).

(E) Minimum Average Lot Size.

(1) Purpose. The purpose of the average lot size requirement is to:

- (a) Allow for the development of consistent and compatible land use patterns throughout Redmond's residential neighborhoods; and
- (b) Minimize public nuisances that may result from a lack of adequate open space and the over utilization of public facilities.

(2) Requirements.

(a) Explanation. The zone use charts in RZC 21.08.020 through 21.08.140 establish the minimum average lot size for each residential zone in Redmond. The average lot size of all lots created through the subdivision or short subdivision process must meet, at a minimum, this average lot size requirement. However, this requirement may be modified under the following circumstances:

- (i) Green Building and Green Infrastructure Program. The owner may participate in the Green Building and Green Infrastructure Incentive Program (see RZC ~~21.08.330~~ [21.67](#)) and create a lot or lots which do not meet the minimum average lot size for the underlying zone by meeting all program requirements; or
- (ii) Small Lot Short Plats. The owner of any lot in the Bear Creek, Education Hill, Idylwood, or Overlake Residential Neighborhoods which is at least 200 percent of the required minimum average lot size in the underlying residential zone and which contains an existing detached dwelling unit may short subdivide the lot in order to create a separate fee simple lot which does not meet the minimum average lot size for the underlying zone if the dwelling unit to be constructed on the newly created lot meets all of the following requirements:

(A.) Only one detached dwelling unit shall be allowed on the lot; and;

(B.) The dwelling unit on the lot shall not exceed 1,000 square feet in total area, excluding any garage area. The dwelling unit and any garage shall not exceed 1,500 square feet in total area. A covenant shall be recorded against the title of the lot prohibiting expansion of the dwelling unit.

(C.) Two off-street parking places are required. Parking spaces must be paved and may include private attached garages, carports, or other off-street areas reserved for vehicles. No detached garages are allowed.

(D.) The dwelling unit must be affordable to an individual or family that has an annual income that is 120 percent or less of the annual median income defined in RZC 21.20, Affordable Housing.

(b) Limitations on Averaging.

- (i) No lot shall be created as a result of lot averaging that results in a lot size that is less than 50 percent of the average lot size standard. For example, with an average lot size of 7,000 square feet in an R-4 zone, no single lot in a proposed subdivision in this zone may be sized at less than 3,500 square feet. For short subdivisions where three or fewer lots are created, no lot shall be created that is less than 75 percent of the average lot size standard.
- (ii) The following critical areas and shoreline areas shall not be included in the average lot size determination for all residential zones: Landslide Hazard Areas; Category I wetlands and their buffers; Class I streams and their buffers; the area waterward of the line of the ordinary high water mark on Lake Sammamish, regardless of the extent of ownership; and floodway areas.

(iii) Nothing in this section shall be construed to allow for an increase in the allowed density as calculated in RZC 21.08.170(C)(3) and as shown for all residential zones in the zone use charts in RZC 21.08.020 through 21.08.140.

(c) Areas of Lots with Access Corridor. The calculation of lot area shall not include any area of the lot that serves as an access corridor.

(F) Minimum Lot Width Circle.

(1) Purpose. The purpose of the minimum lot width circle requirement is to:

(a) Ensure that each lot is wide enough to maintain a consistent and compatible land use pattern in residential neighborhoods; and

(b) Ensure that a minimum buildable area is included in each lot created.

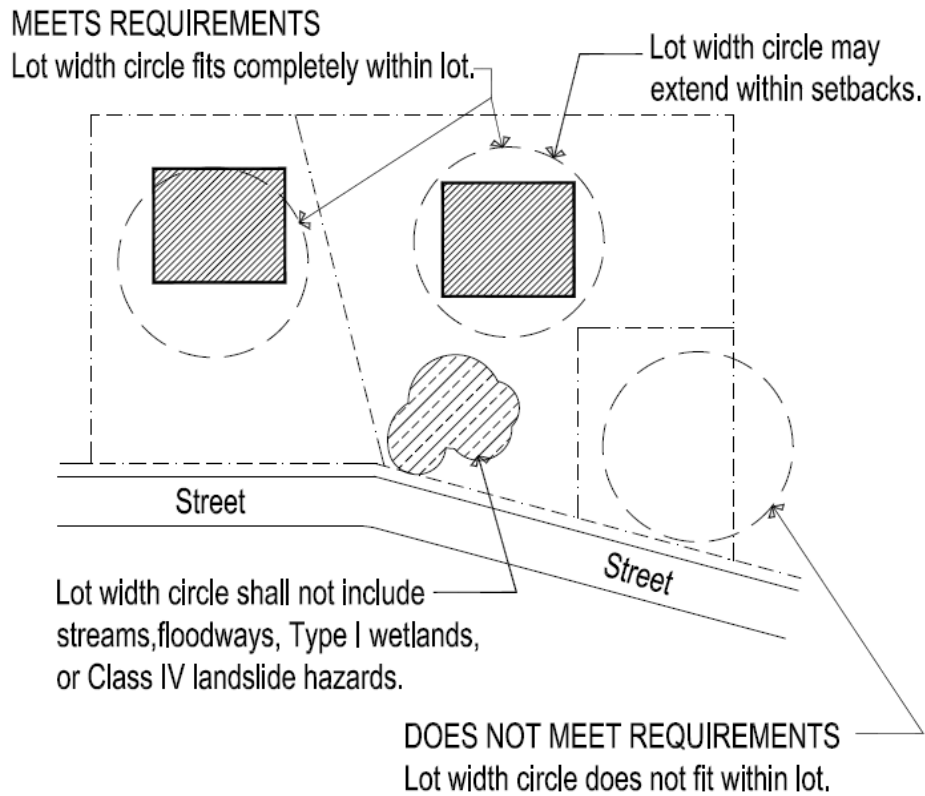
(2) Requirement.

(a) The zone use chart for each residential zone (RZC 21.08.020 through 21.08.140) identifies the minimum lot width circle diameter that must fit within each newly created lot. This circle establishes that at least some portion of a lot must be at least as wide as the minimum lot width. The lot width circle shall not include the area waterward of the line of ordinary high water mark on Class I through Class IV streams and Lake Sammamish, regardless of the extent of ownership; floodways; Category I wetlands; or Landslide Hazard Areas. (SMP)

(b) In the area between Lake Sammamish and West Lake Sammamish Parkway, the minimum lot width circle diameter shall be 45 feet.

(c) The minimum lot width circle requirement does not apply where structures overlap two or more lot lines.

**Figure 2: Minimum Lot Width Circle**



The placement of lot width circle does not relate to the placement of the structure.

(G) Minimum Lot Frontage.

(1) Purpose. The purpose of the minimum lot frontage requirement is to:

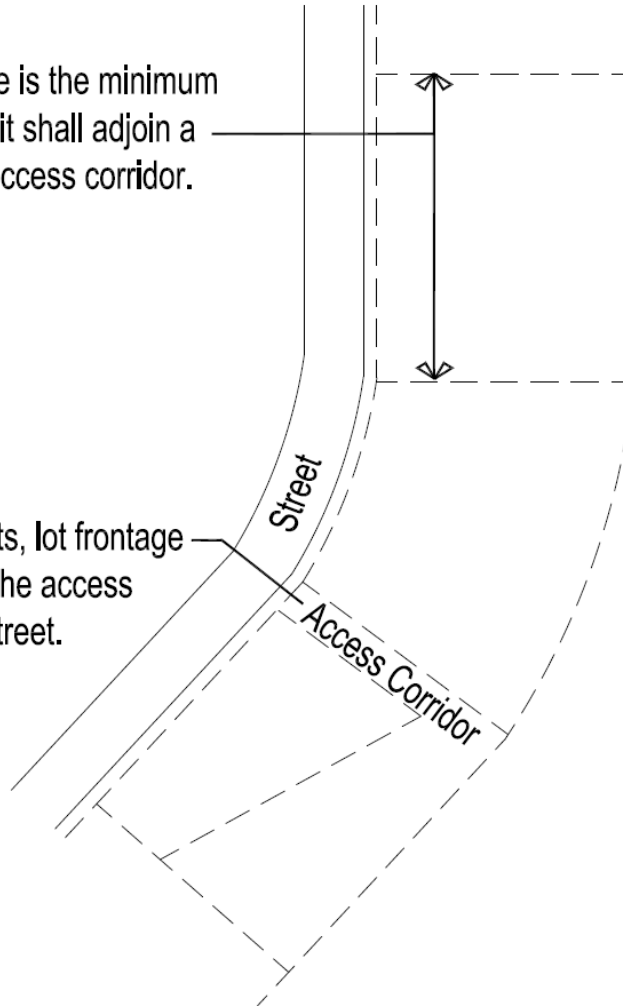
- (a) Prevent congestion by allowing for on-site parking; and
- (b) Reduce public nuisances that result from an inability of emergency vehicles to access a building either because vehicles block the access to a residence or because the lot is not wide enough to allow emergency vehicles to enter from the street.

(2) Requirement. Minimum lot frontage is the minimum width of a lot, as defined by the zone use chart for each residential zone (RZC 21.08.020 through 21.08.140), where it shall adjoin a street or approved access corridor. For individual flag lots, lot frontage is measured where the access corridor meets the street. For private streets and access corridors serving less than three lots and accessing directly onto a public street, lot frontage may be reduced to 14 feet.

**Figure 3: Minimum Lot Frontage**

Minimum lot frontage is the minimum width of a lot where it shall adjoin a street or approved access corridor.

For individual flag lots, lot frontage is measured where the access corridor meets the street.



#### (H) Building Setbacks.

(1) Purpose. The purpose of front, rear, side/interior, and side street setbacks is to:

- (a) Help maintain a consistent and compatible land use pattern for Redmond's residential neighborhoods;
- (b) Provide for adequate light and air to all properties;
- (c) Minimize incompatibilities such as excessive light and noise; and
- (d) Prevent public nuisances such as the potential for fire damage from buildings constructed too close to each other.

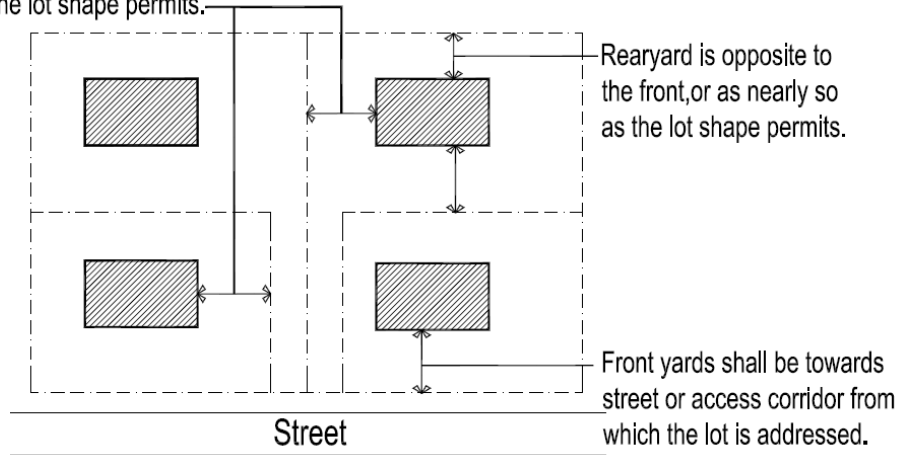
(2) Requirements.

- (a) Lot Orientation. For the purpose of applying setback regulations, the following shall be applied: the front shall be toward the street or access corridor from which the lot is addressed; the rear is opposite to the front or as nearly so as the lot shape permits; and the sides are 90 degrees to the front or as nearly so as the lot shape permits. Where a lot does not front on a named street and it is most logical to have the front oriented towards the un-named access corridor, the side towards the un-named access corridor shall be considered the front and all other setbacks will follow suit.

**Figure 4: Lot Orientation**

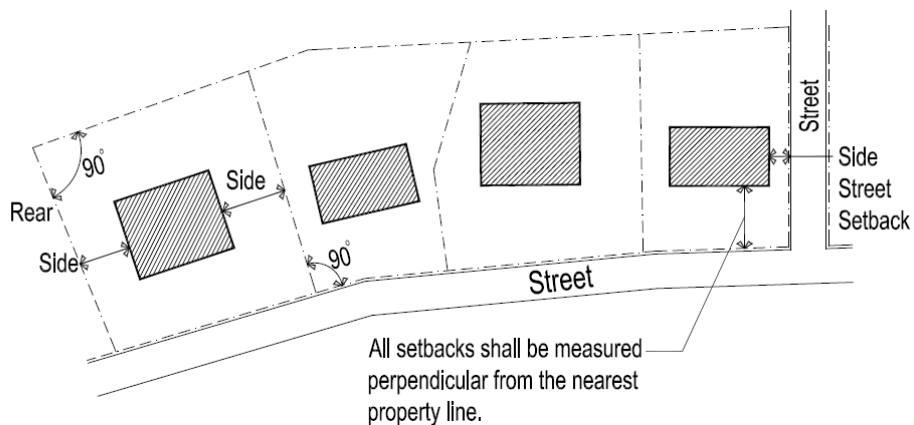


Side yard interior yards are 90 degrees to the front, or as the lot shape permits.



- (b) Measurement. All setbacks shall be measured at right angles, or as near to right angles as possible, to the nearest property line in a plane horizontal to the ground, or in the case of access corridors for single-family residential development, from the nearest edge of the easement to the foundation line of the structure. Front, side street, side/interior, and rear directions shall be determined as provided in subsection (2)(a) of this section.

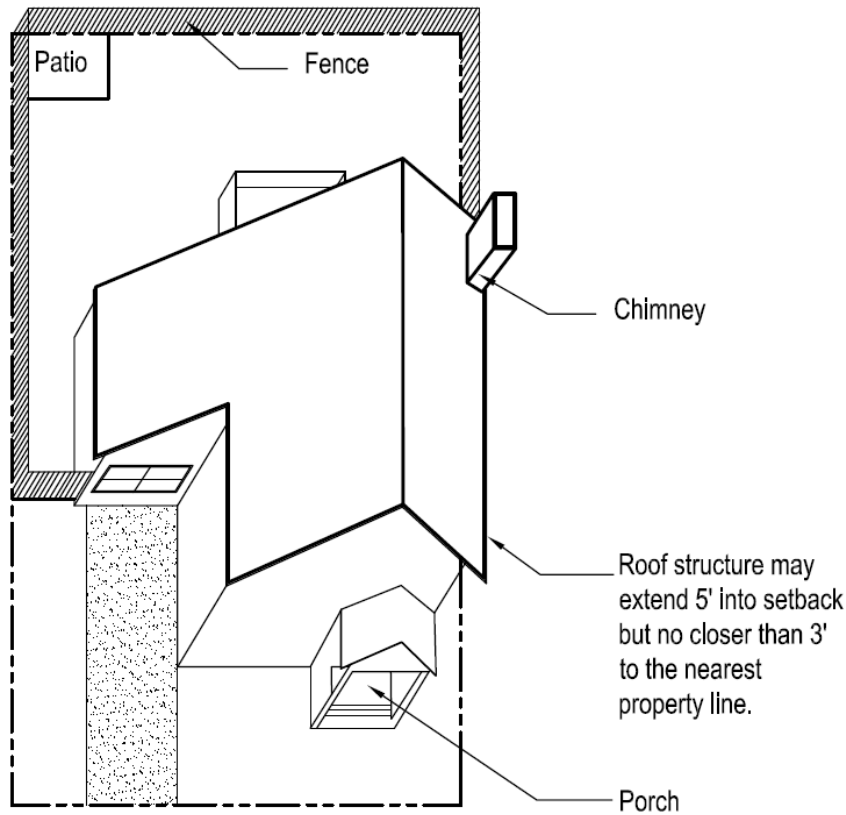
**Figure 5: Building Setbacks**



- (c) Side Street Setbacks. Side street setbacks shall apply whenever a side yard adjacent to a structure faces a public street, private street, or access corridor serving more than two lots.
- (d) Corner Lots. Corner lots shall be subject to only one front setback requirement.
- (e) Side/Interior Setbacks. In those zones where the side/interior setback is five feet and 10 feet, each lot shall have one five-foot side/interior setback and one 10-foot side/interior setback. Where an abutting property has a five-foot side/interior setback, the side/interior setback on that side shall be 10 feet. In no case shall any property be required to have two 10-foot side/interior setbacks. Where both properties abutting a lot have five-foot side/interior setbacks, only one 10-foot side/interior setback shall be required.
- (f) Rear Setbacks – Alleys. When vehicular access to a lot is by an alley, the rear setback shall be four feet from the nearest alley line.
- (g) Accessory Structure Setbacks. Side interior and rear setbacks (but not side street) for accessory structures in all residential zones are five feet.

**Figure 6: Permitted Encroachments in Setback Areas**

Building extremities such as chimneys, decks at least 30" above grade, and porches, bay windows, roof structures and other building extremities may encroach front, rear and side street setbacks. These extremities may project up to 5 feet into an interior side yard setback area.



(3) Encroachments/Front, Rear, Side Setbacks. Minor structures, appurtenances and improvements may encroach into required front, rear, and side setbacks as follows:

- (a) The following features are permitted to encroach up to three feet into front, rear, and side street setback areas: chimneys, porches, bay windows, roof structures, other building extremities such as gas fireplace enclosures, and decks. No encroachment into a front, rear, or side street setback area may extend closer than three feet to the nearest property line.
- (b) Encroachments/Side Interior Setbacks. The following features may encroach up to five feet into side interior setback areas: chimneys, porches, bay windows, roof structures, other building extremities such as gas fireplace enclosures, and decks. No encroachment into a side interior setback area may extend closer than three feet to the nearest property line.
- (c) No encroachments are allowed with the Lake Sammamish waterfront building setbacks, except as provided in subsection (5) of this section, Waterfront Building Setbacks along Lake Sammamish. (SMP)
- (d) Improvements. Improvements less than 30 inches above grade including decks, patios, walks and driveways are permitted in setback areas. Fences, landscaping, flagpoles, street furniture, transit shelters and slope stability structures are permitted in setback areas, provided that all other applicable requirements are met.

(4) Setback Modifications.

- (a) Multifamily/Front Setbacks. A binding site plan, site plan, or preliminary plat may modify front setbacks along access corridors within multifamily developments, provided that front setbacks are maintained from all public streets.
- (b) Zero Lot Line Development. Within zero lot line developments, buildings may be located within the side yard setback according to the requirements set forth in RZC 21.08.390.

(5) Waterfront Building Setbacks along Lake Sammamish. (SMP)

- (a) Waterfront building setbacks shall be a distance measured from the line of the ordinary high water mark on Lake Sammamish. The ordinary high water mark, as defined in RZC 21.78, Definitions, shall be located for each shoreline property through a site reconnaissance and survey by a licensed surveyor.
- (b) See RZC 21.68.060(B), Lake Sammamish Setback, for setback requirements and restrictions. Habitat enhancement features or shoreline protective structures, subject to the requirements of RZC 21.68.080, Shoreline Protective Structures, and in-water structures, subject to the requirements of RZC 21.68.070, In-Water Structures, are permitted. Setback vegetation should consist of native trees, shrubs, or groundcover with an emphasis on encouraging a tree canopy.
- (c) Parking is prohibited within the waterfront building setback.

(I) Building Separation.

(1) Purpose. The purpose of the building separation requirement is to:

- (a) Helps maintain a consistent and compatible land use pattern for Redmond's residential neighborhoods;
- (b) Provide for adequate light and air to all properties;
- (c) Minimize incompatibilities, such as excessive light and noise
- (d) Prevent public nuisances such as the potential for fire damage from buildings constructed too close to each other; and
- (e) Allow for easy access to structures in the event of fire or other emergency.

(2) Requirement. Buildings, except for accessory structures, shall maintain the separation required in the zone use chart for the residential zone in which the building is located. (See RZC 21.08.020 through 21.08.140).

(J) Maximum Lot Coverage for Structures.

(1) Purpose. The purpose of the maximum lot coverage for structures requirement is to:

- (a) Help maintain a consistent and compatible land use pattern for Redmond's residential neighborhoods;
- (b) Provide for adequate light and air to all properties; and
- (c) Prevent public nuisances that may result from a reduction of open space, such as increased storm water runoff and other environmental hazards.

(2) Requirement. The maximum lot coverage for structures requirement sets the maximum percentage of a lot that may be covered with primary and accessory structures. Lot coverage percentages for each residential zone are established in the zone summary for each residential zone. (See RZC 21.08.020 through 21.08.140). Decks exceeding a height of thirty inches above grade, patios, and porches with roofs shall be counted toward the maximum lot coverage of structures.

(K) Maximum Impervious Surface.

(1) Purpose. The purpose of the maximum impervious surface requirement is to:

- (a) Maintain open space;
- (b) Prevent adverse impacts from storm water runoff;
- (c) Replenish ground water resources; and
- (d) Minimize flooding.

- (2) Requirement. The maximum impervious surface percentage in the zone use chart for each residential zone (RZC 21.08.020 through 21.08.140) establishes the maximum percentage of a lot's area that may be covered with structures (including outdoor storage), paved areas, and other impervious surfaces.
- (3) Modifications. As part of an approved binding site plan or subdivision, the Technical Committee may allow for increased maximum impervious surface limits on individual lots within a multi-lot development provided that the total amount of impervious surface for the development as a whole does not exceed the limit established for that zone in the zone summary. If a modification is approved, the development shall be conditioned to ensure compliance with the maximum impervious surface limits set by the zone summary for the residential zoning district. (See RZC 21.08.020 through 21.08.140).

(L) Minimum Open Space – Landscaping – Buffers.

- (1) Purpose. The purpose of the minimum open space requirement is to:
  - (a) Maintain community character by providing visual relief, open space, adequate outdoor space for residents of residential developments; and
  - (b) Enhance public safety by providing adequate off-street recreation space for children.
- (2) Requirement. The minimum open space requirement establishes the minimum percentage of a lot or a development that must be set aside as open space, as shown for each residential zone in the zone use chart (see RZC 21.08.020 through 21.08.140).
  - (a) Lot-By-Lot Compliance. Where the minimum open space requirement is met on a lot-by-lot basis, open space shall consist of a contiguous area of natural vegetation, landscaping, or recreation and may include front or backyard areas. Decks and porches shall be counted towards the minimum open space requirement. No portion of the open space created under this option may have a dimension of less than 15 feet.
  - (b) Development-Wide Compliance. The minimum open space requirement may be measured on a development-wide basis as opposed to a lot-by-lot basis. Under this option, individual lots may be developed with as little as 10 percent of total lot square footage in open space (as defined in subsection (2)(a) of this section), provided that the development as a whole meets the open space requirement called for in zone use chart for the residential zone in which the property is located (see RZC 21.08.020 through 21.08.140). Common open space created under this modification shall be dedicated and shall:
    - (i) Serve those lots developed below the open space standard in the zone summary;
    - (ii) Include an active open space area designed for recreation including picnic areas, children's play areas, and sports courts;
    - (iii) Consist of a contiguous area and have no single dimension of less than 25 feet; and
    - (iv) Have a minimum size equal to the total square foot reduction below the open space standard of the Site Requirements Chart for every lot in the development.
  - (c) Provisions Applicable to Both Lot-By-Lot and Development-Wide Compliance.
    - (i) Environmentally critical areas, buffers, front and rear lot setbacks, swimming pools, sport courts, recreational buildings, swimming pools, golf courses, sport courts, outdoor patios and similar structures or facilities may be used to meet the minimum open space requirement.
    - (ii) At least 25 percent of the minimum open space required by subsection (L)(2) of this section shall be outside of wetlands, streams, lakes, and sensitive area buffers and on slopes of 10 percent or less and developed and maintained so it is usable for active recreation activities. Playgrounds, recreational buildings, swimming pools, golf courses, sport courts, and similar structures or facilities may be used to meet this requirement.

(M) Maximum Height of Structures.

- (1) Purpose. The purpose of the maximum height of structures requirement is to:

- (a) Help to maintain a consistent land use pattern and visual character in residential neighborhoods;
  - (b) Protect important community-recognized view corridors; and
  - (c) In the case of shoreline height limits, to protect habitat values and the aesthetic resources of the shoreline and aid in preserving views in shoreline areas.
- (2) Requirements. The maximum height of structures requirement sets the limit above which structures shall not extend, as set forth in the zone use chart for each residential zone (RZC 21.08.020 through 21.08.140).
- (a) Hose towers (when associated with a fire station), chimneys, antennae, smoke and ventilation stacks flagpoles, solar panels, and wind turbines may exceed the highest point of the existing or proposed structure by no more than 15 feet.
  - (b) Religious Icons and Structures. Special height exceptions for steeples, bell towers, crosses or other symbolic religious icons are contained in RZC 21.08.280, Churches, Synagogues, Temples and Other Places of Worship.
- (3) Maximum Height of Structures – Height Limits within Shorelines. (SMP) Within the shoreline jurisdiction, the following height limits apply:
- (a) The maximum height of all structures, except water-oriented accessory structures and piers or docks, shall be 30 feet.
  - (b) Water-oriented accessory structures shall not exceed 10 feet in height.
  - (c) The maximum height of docks is specified in RZC 21.68.070, In-Water Structures.
  - (d) The maximum height of structures, including bridges, that support a regional light rail transit system may be higher than 30 feet but shall be no higher than is reasonably necessary to address the engineering, operational, environmental, and regulatory issues at the location of the structure.

## **21.08.180 Residential Development and Architectural, Site and Landscape Design Regulations**

### **(A) Residential Development – Purpose.**

(1) Purpose: The purpose of this section is to:

- (a) Maintain the vitality of the City's residential areas by providing design standards for residential development; and
- (b) Implement the goals and policies of the Neighborhoods Element of the Redmond Comprehensive Plan.

### **(B) Residential Architectural, Site & Landscape Design - General Provisions.**

(1) Purpose. The purpose of this section is to establish residential design standards for all areas of the City that:

- (a) Provide variety and visual interest in new residential development in a manner that is compatible with the neighborhood character;
- (b) Create engaging and active streetscapes through design and vegetation that brings living space toward the street;
- (c) Ensure that dwelling units are of a scale that is proportional to their lot size and location;
- (d) Incorporate landscaping to help provide a transition between new and existing development, to enhance building and site appearance, and to maintain and enhance the environmental quality of the neighborhood;
- (e) Encourage public safety for citizens of the neighborhood through building and site design;
- (f) Design homes that feature living space as the dominant feature of the street elevation;
- (g) Promote the use of resource conserving and low impact development techniques.
- (h) Assist applicants and decision makers reviewing development applications; and
- (i) Comply with RZC 21.58.010, Design Standards – Purpose and Intent.

(2) Applicability.

- (a) The residential design standards of this division apply to all applications for new attached and detached single-family development in all areas of the City. Where a regulation applies to only one of the City's neighborhoods, the regulation so indicates. The City's neighborhoods are shown on Map 8.3 set forth at the end of this chapter. For a list of neighborhood specific regulations, see subsection (c) below.
- (b) All applications for residential development which result in a building permit for construction of a new single-family detached or attached dwelling unit, unless otherwise exempted by this division, shall comply with the provisions of this section and RZC 21.58.020(B)-(D). Dwellings built prior to the adoption of residential design standards for the neighborhood in which the dwelling is located are not considered nonconforming dwellings and are not subject to the limitations on nonconforming structures set forth in RZC 21.76.100(F), Legal Nonconformances and Structures.
- (c) Specific neighborhood requirements for the Bear Creek Neighborhood are set forth in RZC 21.08.180(E)(2) (Building Character, Proportionality and Massing). Specific neighborhood requirements for the Education Hill Neighborhood are set forth in RZC 21.08.180(D)(2) (Building Orientation) and RZC 21.08.180(F)(2) (Landscaping Standards). Specific neighborhood requirements for the Grass Lawn Neighborhood are set forth in RZC 21.08.180(D)(2) (Building Orientation). Specific neighborhood requirements for the Idylwood Neighborhood are set forth in RZC 21.08.180(D)(2) (Building Orientation) and RZC 21.08.180(E)(2) (Building Character, Proportionality and Massing). Specific neighborhood requirements for the North Redmond Neighborhood are set forth in RZC 21.08.180(D)(2) (Building Orientation); RZC 21.08.180(E)(2) (Building Character, Proportionality and Massing); RZC 21.08.180(F)(2) (Landscaping Standards); and, RZC 21.08.180(G)(3) (Streets and Pathways). Specific neighborhood requirements for the Willows/Rose Hill

Neighborhood are set forth in RZC 21.08.180(D)(2) (Building Orientation) and RZC 21.08.180(F)(2) (Landscaping Standards);

(C) Variety and Visual Interest in Building and Site Design.

(1) Purpose. The purpose of this section is to:

- (a) Promote building and site design that is consistent with the neighborhood character of each of the City's residential neighborhoods; and
- (b) Provide variety and visual interest by using various combinations of building elements, features and treatments and variation in site design elements while remaining consistent with neighborhood character.

(2) Design Criteria.

(a) Variety in Building Design.

- (i) The same combination of building elements, features and treatments shall not be repeated for more than 20 percent of the total dwelling units in any new residential development. Dwelling units with the same combination of features and treatments shall not be located side-by-side with each other or directly across a street from each other.
- (ii) Dwelling units in developments of five or more lots may have the same combination of features as long as the details are varied to achieve visual interest. Dwelling units in developments of less than five lots shall not repeat the same combination of primary and secondary features. The development of a new dwelling unit on a single lot shall not repeat the same design of an existing home that is located side-by-side with it or directly across a street from it.
- (iii) In making the determinations required in subsections (i) and (ii), of this section, architecture within new residential developments will be evaluated by the Administrator as a combination of at least three primary features and at least three secondary features per dwelling unit. The primary features may include:

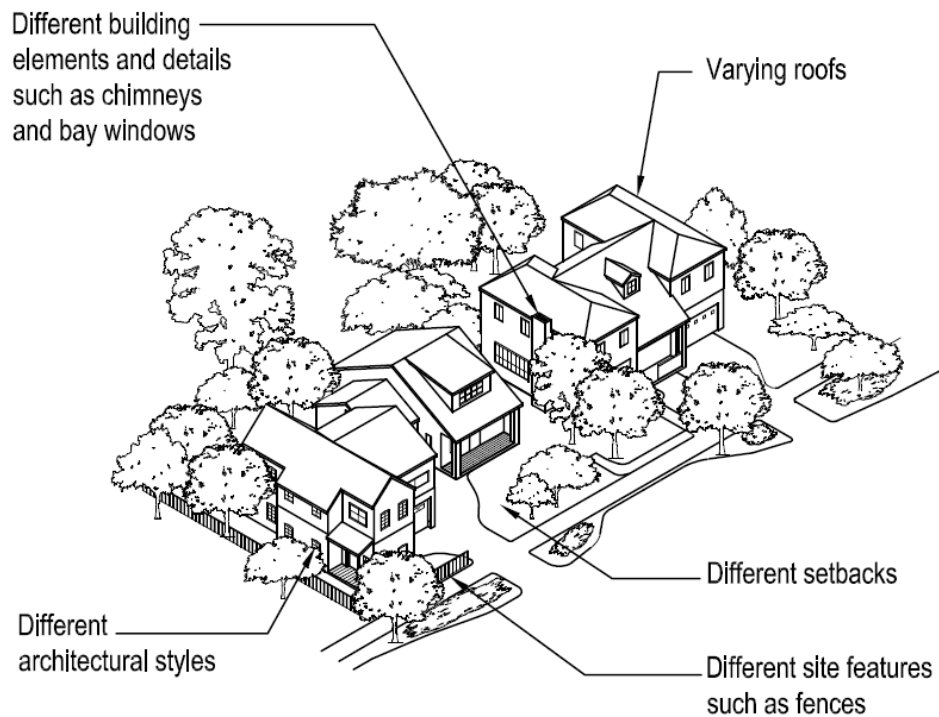
- (A.) Variation in structure height by a minimum of at least 10 percent;
- (B.) Varying roof pitch, shape, and orientation between adjacent structures;
- (C.) Variation in structure width of greater than five feet;
- (D.) Variation in dwelling unit type or size by a minimum of at least 10 percent;
- (E.) Variation in garage orientation (i.e., front, side, alley, detached);

Secondary features may include:

- (A.) Variation in setbacks from the street of greater than four feet;
- (B.) Entry enhancement and differentiation;
- (C.) Variation in building materials, colors, and detailing;
- (D.) Façade articulation and modulation.
- (E.) Visible window trim and mullions

Other secondary building elements, treatments, features, or site designs which meet or exceed the intent of this section may be approved by the Administrator.

**Figure 7: Variety in Building and Site Design**

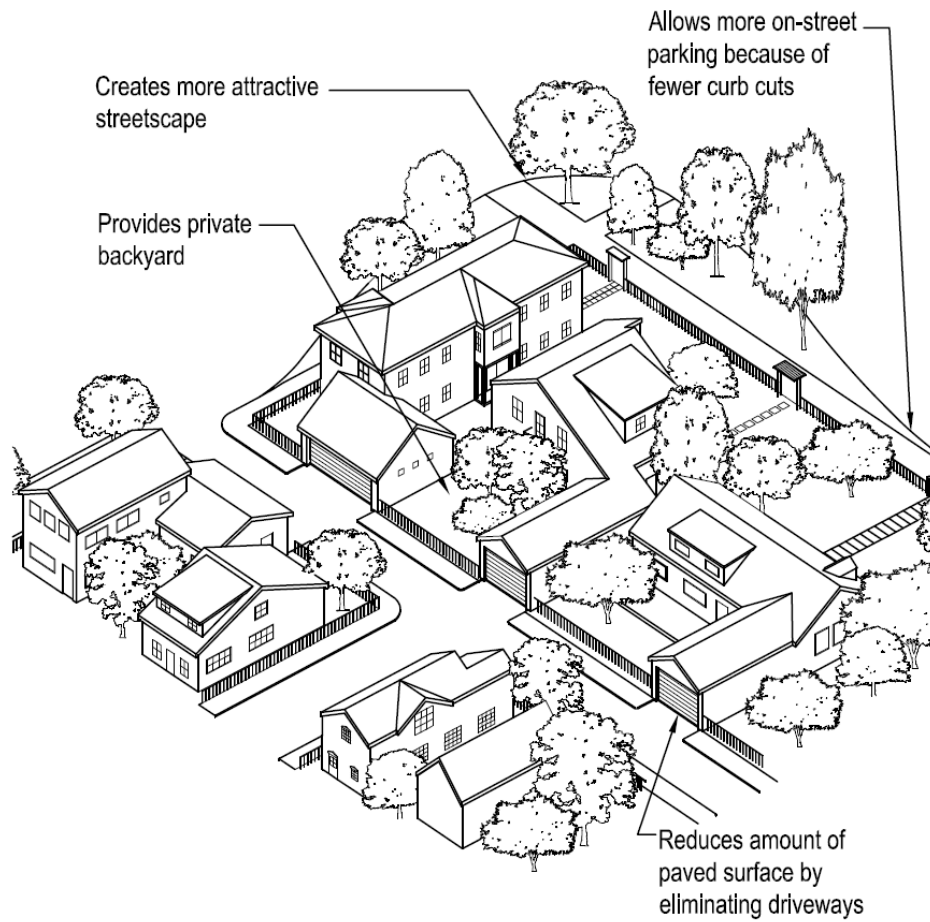


(b) Variety in Site Design. Variation in site design shall be achieved through the use of various site planning methods and techniques. Examples of techniques to provide variety in site design include, but are not limited to:

- (i) Variation in lot sizes or orientation;
- (ii) Variation in type of driveway (shared or not shared);
- (iii) Alleys (See Figure 7 below);
- (iv) Variation in landscape design; and,
- (v) Other similar site design features which achieve variety and visual interest and meet or exceed the intent of this section may be approved by the Administrator.



**Figure 8: Benefits of Alley Access**



(D) Building Orientation.

(1) Purpose. The purpose of this section is to:

- (a) Provide active streetscapes that promote a more walkable and enjoyable neighborhood experience for residents;
- (b) Incorporate features into dwelling, site, and streetscape design that bring the primary living area of the dwelling toward the street; and
- (c) Except for properties located on arterials, ensure that garages are not the dominant feature as viewed from the street (See Figure 8 below).

(2) Design Criteria.

(a) Setbacks on Arterials.

With the exception of the North Redmond Neighborhood, for structures located on properties facing an arterial, main living areas may be located toward the rear of the property for noise attenuation, as approved by the Administrator. Minimum setbacks shall be as provided in the zone use chart for the residential zone in which the property is located.

In the North Redmond Neighborhood only, the following arterial setback requirements apply in lieu of the setbacks provided in the zone use chart for the residential zone in which the property is located:

- (i) Landscape buffers shall be required along Redmond-Woodinville Road, NE 124th/128th Streets, and NE 116th Street to reduce both the visual and noise impacts of traffic on residential development and to enhance the parkway and green, vegetated qualities of the Redmond-Woodinville Road. Buffers shall blend with the natural surroundings by use of berms, terraces, trees, and plant material, and shall be designed with minimal maintenance requirements.

- (ii) All buildings on the east side of Redmond-Woodinville Road (SR 202) shall be set back a minimum of 75 feet. This setback shall be measured from the edge of the proposed right-of-way. Accessory structures, including fences, are prohibited in this setback.
- (iii) All residential buildings and accessory structures greater than 30 inches above the grade, on the west side of Redmond-Woodinville Road (SR 202), within the Wedge subarea, shall be set back a minimum of 35 feet. The following conditions also apply:
  - (A.) This setback shall be measured from the edge of the proposed right-of-way.
  - (B.) Multi-story vegetation that is canopy-forming at maturity shall be provided and maintained within the setback, at a depth no less than 15 feet measured east to west adjacent to the western edge of the Redmond-Woodinville Road right-of-way.
  - (C.) The multi-story vegetation shall be preserved within a tract. The location, purpose and limitation of this tract shall be designated on the face of the plat, binding site plan or similar recording drawing in a format provided by the City Attorney.
  - (D.) The multi-story vegetation shall meet the requirements of RZC 21.32.080, Types of Planting, Type II – Visual Screen, and RZC 21.08.180(F)(2)(vii), Vegetation for the Wedge Subarea Common Areas.
  - (E.) The Administrator may approve alternative methods that meet the intent of this section and provide for privacy and screening when site conditions such as critical areas indicate a need for flexibility.
- (iv) Other Road Setbacks. Buildings shall be set back a minimum of 15 percent of the depth of a parcel before subdivision along the north side of NE 116th Street and the south side of NE 124th/128th Street. Setbacks may be reduced if the setback area is landscaped and established as a permanent open space corridor, but buildings are not located closer than 50 feet from the edge of the proposed right-of-way. Setbacks may be further reduced (but no less than required in the zone summary for the residential zoning district in which the property is located) for development on parcels two acres or less in size. Accessory structures are prohibited in this setback with the exception of non-sight-obscuring fences (such as post and rail) and improvements less than 30 inches in height (such as patios). These improvements shall be allowed up to 25 feet into the setback. Trail systems that provide for pedestrian access shall also be allowed in the setback.

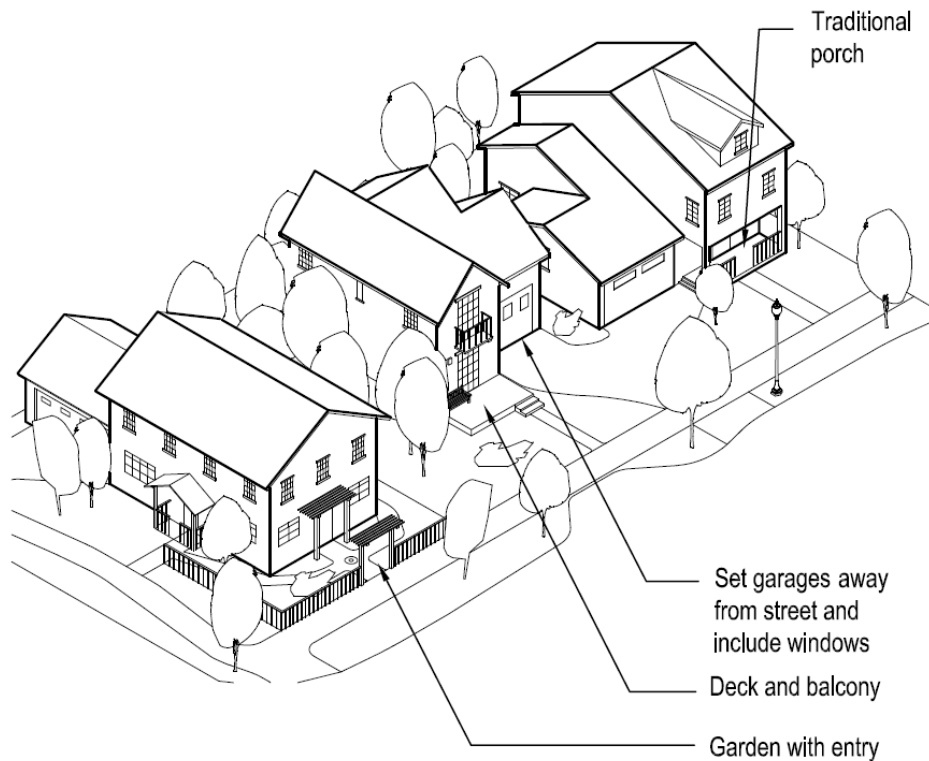
The minimum setback for all structures that are 30 inches above the grade and adjacent to 172nd Avenue NE shall be 20 feet.

- (b) Garage Placement. Except for properties located on arterials, new dwelling units with attached garages facing the front street shall be designed so that the garage is not the dominant feature as viewed from the street. Design techniques which meet the intent of this section may include, but are not limited to:
  - (i) Setting the garage back a minimum of five feet from the front street elevation of the dwelling;
  - (ii) Recessing a garage under a second story, projecting roofline, or balcony a minimum of five feet.

The front street elevation of a side-loaded garage shall have a minimum of one opening (i.e., window or door).
- (c) Garage Doors. On new dwelling units, garage doors facing the front street shall include windows, multiple garage doors (for example, one door per parking stall) or other architectural treatments that reduce the mass of the garage door surfaces and meet the intent of this section.
- (d) Transition Areas. In the Education Hill, Grass Lawn, Idylwood, North Redmond, and Willows/Rose Hill neighborhoods, a minimum 80-square-foot area must be provided in the front yard that is oriented toward the front street and includes a porch (minimum dimension eight feet on all sides), patio, deck, garden with entry, walkway with arbor, or other feature(s) that meets the intent of this section. The transition area may consist of a combination of landscape and structural elements.
- (e) Alleys. There shall be a minimum four-foot yard setback for garages that are accessible from an alley. For the purpose of providing visual appeal and interest, when an alley is adjacent to a rear yard, yard landscaping shall extend to the edge of the alley or a landscape strip between the alley and the fence shall be provided.

- (f) Other Methods. The Administrator may approve other methods of building orientation that meet the purposes of this section.

**Figure 9: Building Orientation – Three Options for Providing Living Space Oriented Toward the Street**

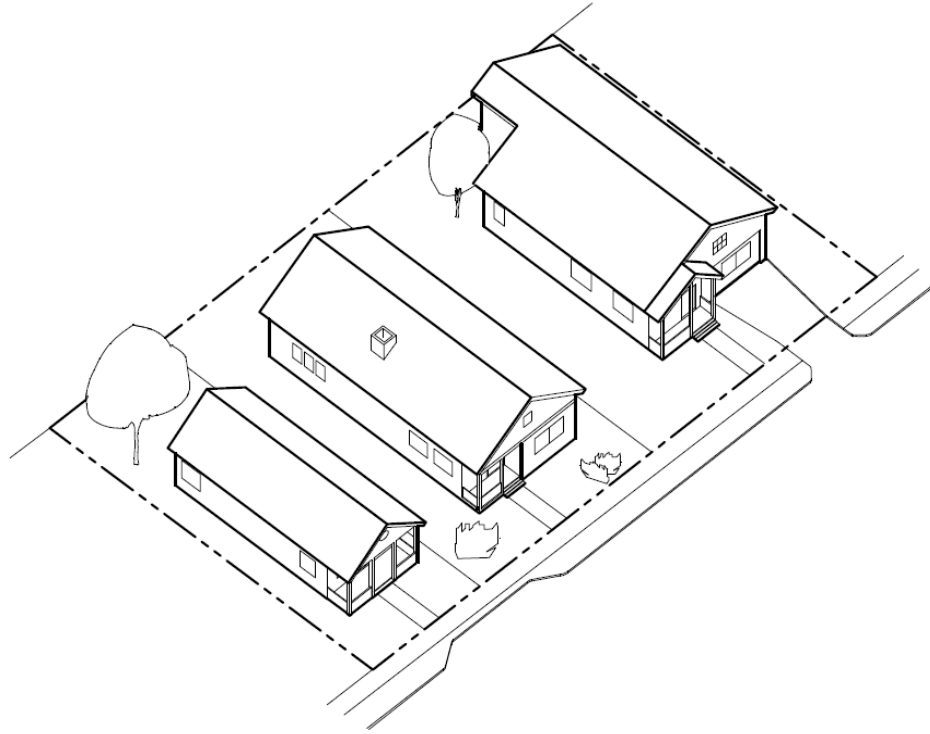


(E) Building Character, Proportionality and Massing.

(1) Purpose. The purpose of this section is to:

- (a) Maintain a consistent and compatible land use pattern within the neighborhoods of the City by applying lot coverage requirements in order to ensure that dwellings are proportionate to their lot size (See Figure 9);
- (b) Reduce the apparent size of large new development, attached dwelling unit buildings, and expansions of existing single-family homes; giving them visual interest through the use of design techniques while maintaining compatibility with the neighborhood character; and
- (c) Provide visual relief from the massing and scale of built development through site design techniques such as centrally locating open space and preservation of mature trees.

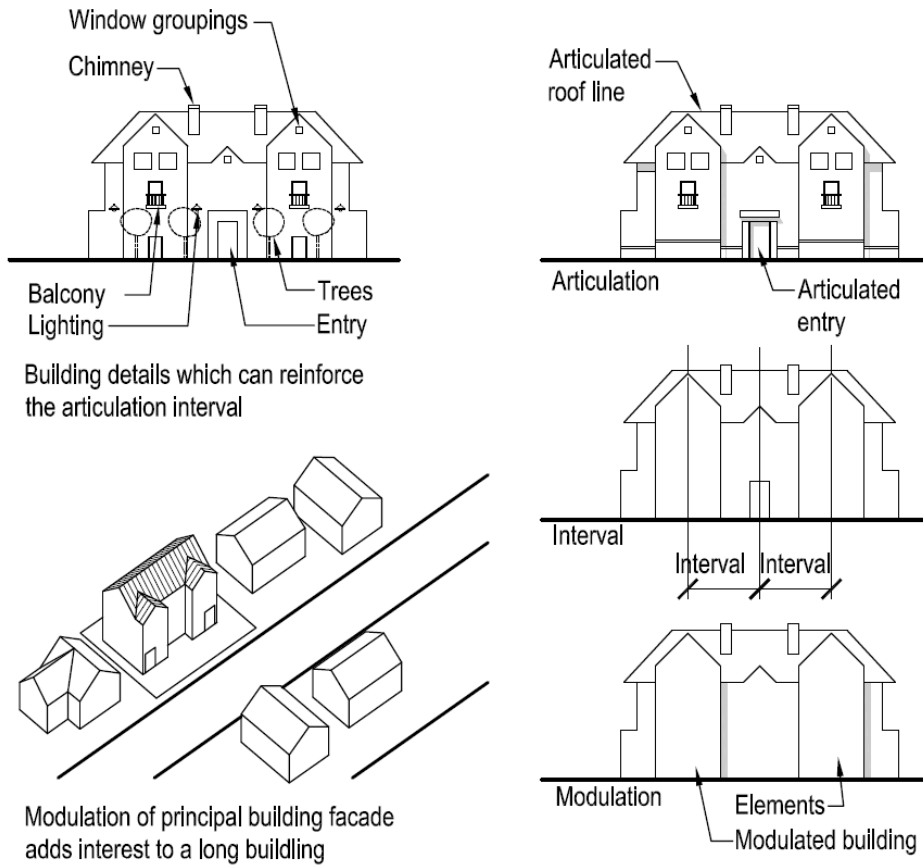
**Figure 10: Single-Family Dwellings Proportional to Their Lot Size**



(2) Design Criteria.

- (a) Building Height in North Redmond Wedge Subarea. Residential structures within the North Redmond Wedge Subarea shall not exceed a height of 30 feet, measured from the average existing grade prior to construction.
- (b) Modulation and Articulation. Modulation and articulation shall be used to reduce the perceived size of large new buildings, and to provide visual interest for all buildings that have a facade facing the street on any front, street side or rear property line. The use of these techniques shall be varied between adjacent buildings. (See Figure 10)

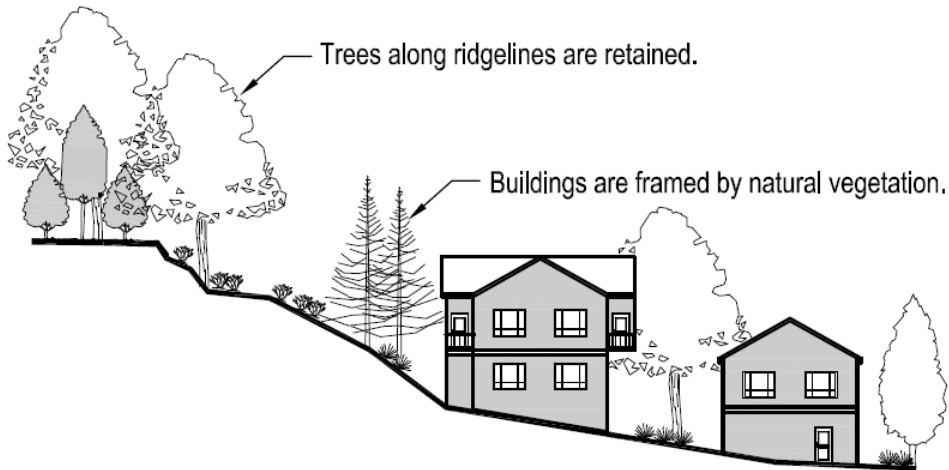
**Figure 11: Modulation and Articulation**



- (c) Consideration of Existing Topography. Buildings should be designed to fit the topography, such as stepping down a hillside or terrace. (See Figure 11)

**Figure 12: Consideration of Existing Topography**

Buildings step down or terrace down a hill side thus fitting into the topography



- (d) Open Space.

- (i) A minimum of 25 percent of the required open space for residential developments of 30 dwelling units or more shall be located as common open space.
- (ii) Common open space shall be designed to achieve at least five of the following:
  - (A.) Provide visual relief from the massing of development; and, in the Idylwood Neighborhood, by preserving predevelopment vegetation or installing site-appropriate perimeter landscaping including a variety of species, heights, and maturation.
  - (B.) Serve the recreational needs of residents of the development.
  - (C.) Create children's play area(s) that is visible and accessible for use by the residents.
  - (D.) Provide habitat for wildlife.
  - (E.) Create open space that includes trails accessible to the residents.
  - (F.) Provide open space that is centrally located and adjacent to a majority of the residences.
  - (G.) Create linkages with open space on neighboring properties.
  - (H.) Create a buffer between the new development and existing nearby homes.
  - (I.) Create a play area/park that is open and accessible for use by the surrounding neighborhood.
- (iii) Common open space shall be usable area for passive or active recreation, provided such uses do not include impermeable surfaces. Uses may include, but not be limited to, picnic tables, benches, trails and linkages, scenic viewing areas, children's play equipment, or sports courts that are paved with permeable materials.
- (iv) Where possible, common open space shall be interconnected within the development and with open space on adjacent developments. Easements shall be provided at appropriate locations toward the end of cul-de-sacs or along lengthy streets to provide pedestrian access to open space and/or to adjacent developments in accordance with RZC 21.08.180(G).
- (v) In the Idylwood Neighborhood, the minimum open space requirement shall be 25 percent for developments using lot size reduction or density bonuses available through RZC ~~21.08.330~~ [21.67](#), Green Building and Green Infrastructure Incentive Program.
- (vi) In the Idylwood Neighborhood, residential development of more than one dwelling is encouraged to implement one or more of the following open space enhancements:
  - (A.) Preserve a greater amount of open space than the required amount in permanent easements that are recorded on the face of the plat;
  - (B.) Perform on-site enhancements and restoration to designated open space;
  - (C.) Establish or collaborate in the creation of community-oriented "green" space such as a shared peapatch; or
  - (D.) Design and implement on-site rain gardens for helping to increase storm water infiltration and to reduce storm water runoff amounts and flow rates.
- (e) Low Impact Development within North Redmond Wedge Subarea and Bear Creek Neighborhood. Sustainable and low impact development (LID) techniques shall be incorporated into new residential development within the Wedge Subarea and Bear Creek Neighborhood. Refer to RZC ~~21.08.330~~ [21.67](#), Green Building and Green Infrastructure Incentive Program, for definitions and guidelines, with the exception of the additional density incentive. Additional density by way of the Green Building and Green Infrastructure Incentive Program shall not be allowed within the Wedge subarea.

- (i) All of the following Green Building and Green Infrastructure techniques are required within the Wedge subarea; bioretention or infiltration (where feasible) and at least two other techniques are required in the Bear Creek neighborhood:
  - (A.) Site assessment;
  - (B.) Green Building Certification – 3-star/LEED Certification minimum;
  - (C.) Drought-tolerant landscaping;
  - (D.) Native vegetation retention – refer to points awarded for flexibility in meeting this requirement;
  - (E.) Native soil preservation;
  - (F.) Native soil restoration;
  - (G.) Impervious surface area reduction – refer to points awarded for flexibility in meeting this requirement;
  - (H.) Minimal excavation foundation – where feasible;
  - (I.) Bioretention or infiltration – where feasible.
- (ii) The following incentives may be used within the Wedge subarea, in accordance with the Green Building and Green Infrastructure Incentive Program:
  - (A.) Sustainable development award;
  - (B.) Priority building permit processing;
  - (C.) Online and print recognition;
  - (D.) Lot size reduction of 15 percent, 25 percent or 30 percent;
  - (E.) Clustered node;
  - (F.) Alternative road standard.
- (iii) All incentives described in the Green Building and Green Infrastructure Incentive Program are available within the Bear Creek neighborhood.

(F) Landscaping Standards.

(1) Purpose. The purpose of this section is to:

- (a) Require that vegetation be included in residential landscaping areas to soften the bulk and mass of buildings, to add visual interest, to provide visually appealing streetscapes, and to maintain and enhance the environmental quality of the neighborhood;
- (b) Provide for landscaping that supports wildlife and minimizes opportunities for invasion by noxious plants as defined by the City;
- (c) Promote water conservation by encouraging drought-tolerant vegetation, and improve water quality by using LID standards;
- (d) Promote maintenance of landscaping and mature trees and proper plant selection for new landscaping relative to the location and soil conditions so that plant materials can flourish;
- (e) Promote pedestrian safety by separating walkways from streets with a landscaped area and providing motorized and non-motorized connections between developments and throughout the neighborhood;

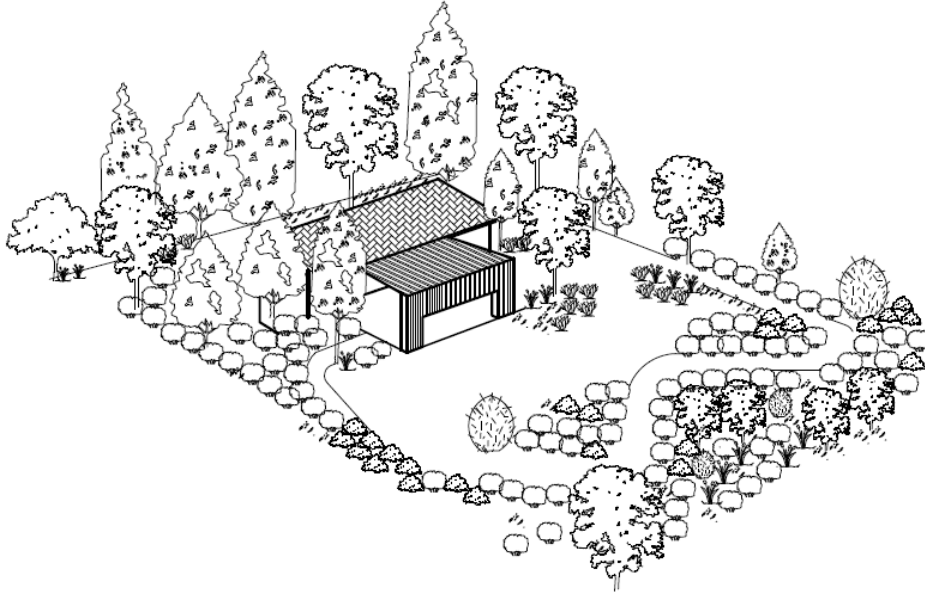
(2) Design Criteria.

(a) Landscaping and Landscape Plan Required.

- (i) In the Education Hill, North Redmond, and Willow/Rose Hill Neighborhoods, landscaping for the front yard shall be provided for all new residential development.
- (ii) A landscape plan shall be prepared or approved by a Washington-licensed landscape architect, certified nurseryman, or certified landscape technician. Construction of individual units that are not part of a new short plat or long subdivision is required to provide a landscape plan but are exempt from this requirement to have the plan certified. The landscape plan shall include the elements specified in subsections (2)(a)(ii), (iii), (iv) and (v) of this section.
- (iii) Landscaping consisting of native vegetation shall be required in all common areas within any new residential development. Applicants are strongly encouraged to comply with the Design Guidelines in the Redmond Design Manual.
- (iv) Street trees shall be selected that will result in a tree canopy at maturity along streets internal to or adjoining residential developments in accordance with the Street Tree Plan as a requirement of development, subdivision, and short subdivision.
- (v) Plant materials shall be selected that are appropriate for the site and soil conditions, excluding noxious weeds as defined by the City.
- (vi) In addition to tree preservation requirements in RZC 21.72, the preservation of significant trees is deemed a high priority for the North Redmond Neighborhood. New residential developments in the North Redmond Neighborhood are encouraged to preserve as many significant trees as is feasible for the development. For these purposes, a higher priority shall be placed on the preservation of fir, cedar, and maple species and lesser priority shall be placed on the preservation of poplar, cottonwood, alder, and other pioneer species. The following bonuses are available to developments on which a minimum of 50 percent of the land area is covered, canopy plus five feet, by higher priority tree species, and a minimum of 50 percent of the significant trees are being preserved:
  - (A.) Developments that preserve a minimum of 50 percent of the significant trees in the higher priority category shall be entitled to a five percent bonus density.
  - (B.) Developments that preserve a minimum of 75 percent of the significant trees in the higher priority category shall be entitled to a 10 percent bonus density.
- (vii) In the North Redmond Wedge Subarea, the following additional requirements shall apply:
  - (A.) Vegetation for common areas within the Wedge subarea shall be planted to establish a multi-story canopy at maturity and shall include a ratio of two coniferous species to one deciduous species.
  - (B.) Vegetation for common areas shall be planted to achieve a density equal to Type 2 Visual Screening, RZC 21.32.080, Types of Planting, Type II – Visual Screen.
  - (C.) Vegetation shall consist of native, habitat, and drought-tolerant species; unless the Administrator determines that the plants would not survive long term.
  - (D.) Species shall be planted to achieve a naturalized appearance by ensuring a variety of species and by installing in a minimum grouping of three plants per vegetated cluster or vegetated area (See Figure 12).

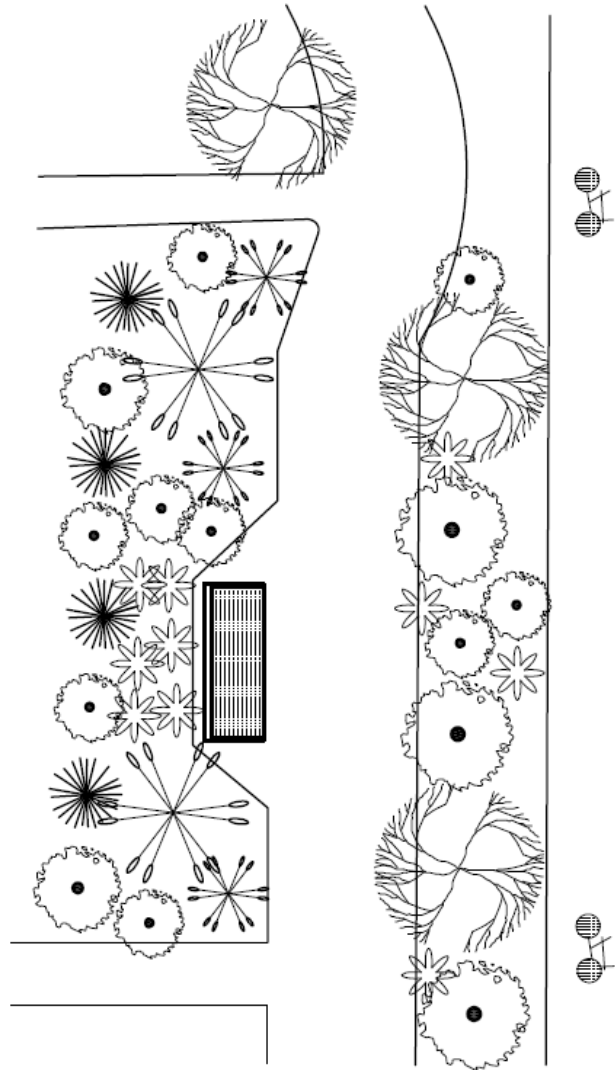


**Figure 13: Naturalized Plant Design, Groupings, and Variety of Species**



(E.) Street trees within the Wedge subarea and within the Redmond-Woodinville Road corridor from NE 124th Street to 154th Place NE/NE 109th Street shall be planted in groups of three and shall vary species to achieve a natural appearance. Vegetation planted in proximity to major transmission lines shall follow the respective vegetation management guidelines (See Figure 13).

**Figure 14: Planting to Achieve a Natural Appearance**



(viii) In the Willows/Rose Hill Neighborhood, the following additional requirements shall apply to drainage swales:

(A.) Drainage swales shall be designed to convey storm water and to provide a natural looking and informal landscaped edge that separates walkways from vehicle lanes. Subdivisions shall include, and short subdivisions are encouraged to include, drainage swales landscaped to enhance storm water quality and control.

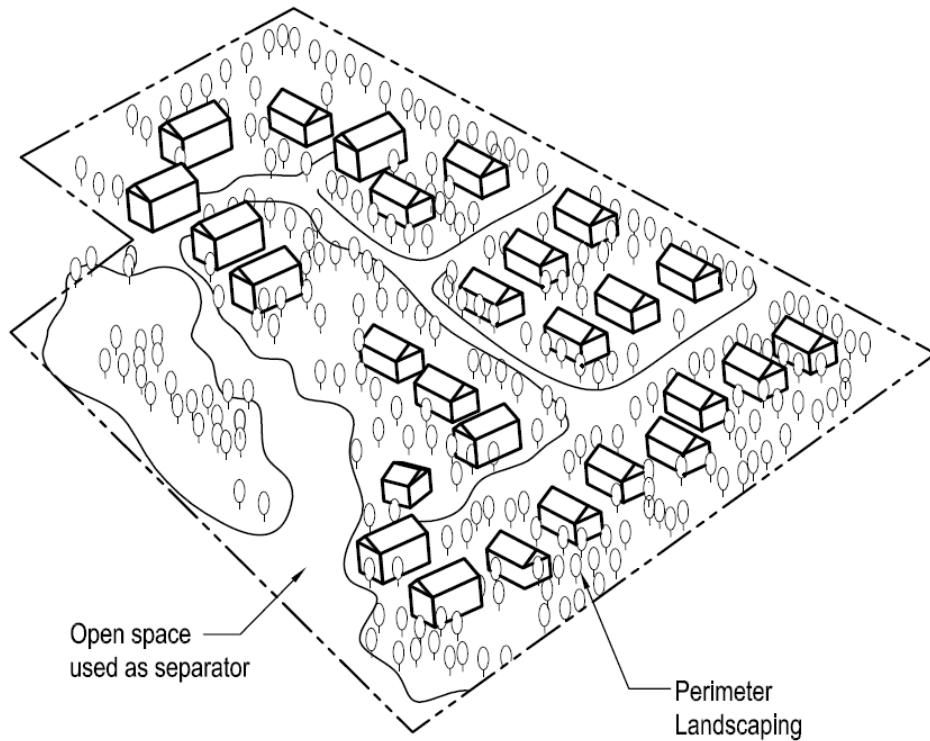
(B.) Drainage swales shall be designed to minimize maintenance required by the City and adjacent property owners. The adjacent property owner is responsible for landscape maintenance, including irrigation of the swale as needed. The City will provide maintenance regarding the function of the drainage facility and a description of best management practices for swales for property owners.

(C.) Plantings are recommended for their hardiness, including the ability to withstand drought and wet conditions.

(b) Landscaping Transition.

(i) For new subdivisions, short subdivisions, and other residential developments, landscaping shall be provided along the perimeter of the site that incorporates native vegetation and softens the transition between new and existing dwelling units when the new dwellings are directly adjacent to lots with existing dwellings or the dwellings can be viewed from public streets or park areas. (See Figure 14)

**Figure 15: Two Options for Providing Separation around New Subdivisions**



(ii) Softening shall be achieved as part of perimeter landscaping through the following methods:

- (A.) Dedication and maintenance as a common tract is preferred in order to provide maximum reduction of impacts and continued management of the space. Otherwise, maintenance will be provided by the individual landowners of the specific lots where perimeter landscaping has been provided.
- (B.) If perimeter landscaping is provided on individual lots or as part of common areas, a note shall be placed on the face of the plat (or on a separate instrument when the development is not a subdivision or short subdivision) stating that the purpose of the landscaping is to fulfill a requirement of development approval and that the landscaping shall not be removed.
- (C.) A performance bond shall be required for the landscaped area. If a specific tree is counted as a saved tree, then a saved tree maintenance bond shall be required.
- (D.) Perimeter landscaping shall be provided in the side internal to the new development when there is an existing or planned fence alignment.
- (E.) In the event that a fence is in place or planned, planting shall occur with 20 feet maximum spacing between trees; a minimum of two trees per lot; and all trees shall be a minimum of eight feet in height at the time of planting.
- (F.) If a fence is not in place and is not specified as part of the development project, planting shall occur with 20 feet maximum spacing between trees; a minimum of two trees per lot; and at least 50 percent of the shrubs to be planted shall consist of evergreen, native, non-invasive species selected from the list of such species contained in the City's design manual.

(iii) The Administrator may approve other methods that achieve the intent of the landscaping transition requirement, such as increased setbacks that soften the transition from existing to new dwelling units.

(c) Storm Water Management Facilities.

(i) Storm water ponds and surface infiltration facilities shall be designed to be attractive in appearance and function. The shape of these facilities shall be designed to approximate natural ponds and water bodies using curvilinear lines to create natural-appearing edges where possible.

- (ii) All surface ponds shall be landscaped, with native vegetation or other vegetation that is drought-tolerant, provides desired screening or wildlife habitat, or for other purposes as needed for the individual site. Unobstructed maintenance access shall be provided.
- (iii) If fencing is required, its design and materials shall be selected to complement the immediate surroundings and the visual character of the neighborhood. Fencing shall allow the passage of small wildlife species below it. Galvanized steel chain link fences are prohibited.
- (iv) Privately maintained storm water detention vaults as approved by the Technical Committee may be used. Privately maintained storm water facilities are encouraged to be designed for multiple uses including, but not limited to, gardens, play areas, or sports courts.
- (v) All storm water facilities shall meet the requirements of the Stormwater Technical Notebook adopted by the City.

(G) Streets and Pathways.

(1) Purpose. The purpose of this section is to:

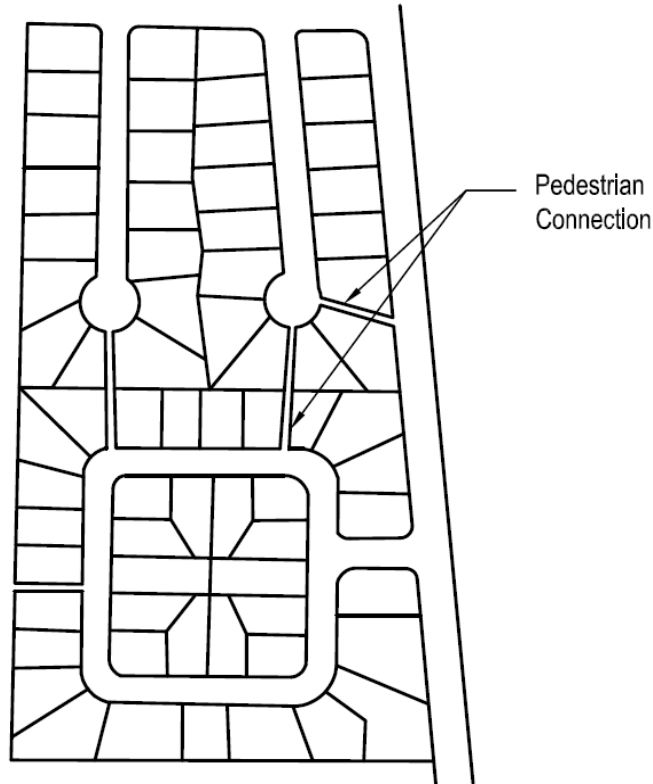
- (a) Promote non-motorized connections throughout the neighborhood along safe and scenic corridors, including pathways that are separated from arterial streets;
- (b) Provide connectivity within new developments and to adjacent developments, open space, and streets by discouraging the use of cul-de-sacs that inhibit connectivity and by discouraging the designation and construction of new private streets;
- (c) Design streets to implement traffic calming measures that support the pedestrian environment;
- (d) Enhance neighborhood character and reduce storm water requirements by providing for natural looking landscaped street edges that do not sharply define the private property from the public area and street and that contain landscaped drainage swales;
- (e) Ensure consistency with the neighborhood transportation connections maps; and
- (f) In the North Redmond Wedge Subarea, preserve and enhance the character of Redmond-Woodinville Road, from NE 124th Street to the crossing of the Puget Sound Energy Trail, as a green entryway to the City. Maintain a character that demonstrates dense, multi-story vegetation, Redmond's history, and links the agricultural Sammamish Valley with Redmond's urban character.

(2) General Requirements. General requirements for streets are found in Appendix 2 of the Zoning Code. New streets shall be generally aligned as shown in the Transportation Connections Maps contained in the Neighborhood Element of the Redmond Comprehensive Plan and in the Transportation Master Plan in order to provide connectivity within the City. Minor modification in consideration of topography, existing vegetation, existing structures, or to align with other existing or planned streets in the neighborhood is permitted, provided the intent of connecting streets and developments is achieved.

(3) Design Criteria.

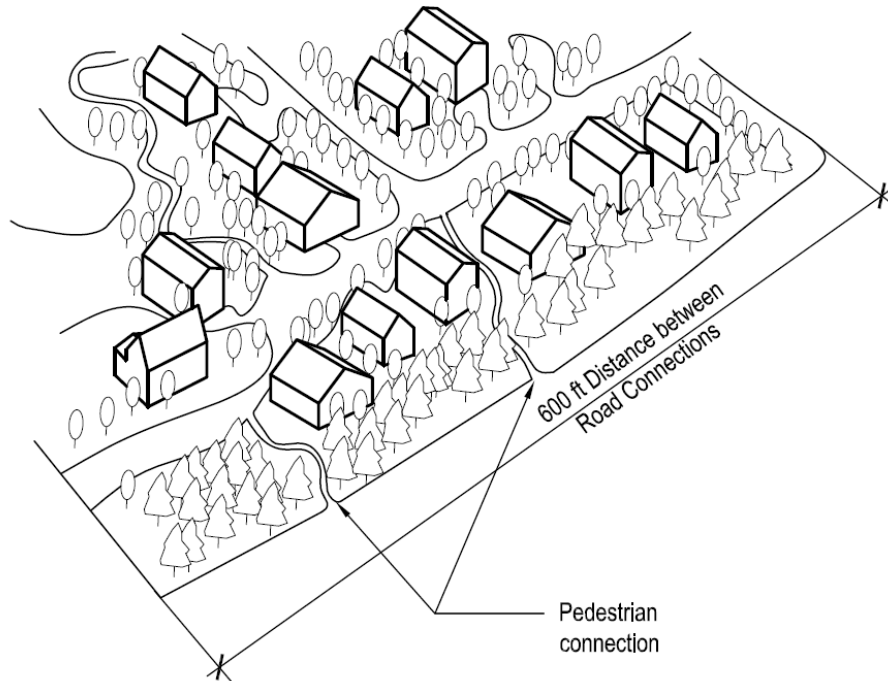
- (a) Where possible, narrow street design shall be utilized to reduce non-permeable surface area and promote traffic calming, subject to review and approval by the Technical Committee and by the Redmond Fire Department.
- (b) Where cul-de-sacs are utilized, pedestrian connections to open space, adjacent streets, or adjacent developments shall be provided at appropriate locations toward the end of the cul-de-sac (See Figure 15).

**Figure 16: Pedestrian Connections at Cul-de-sacs**



- (c) When there is more than a 600-foot distance between road connections in a new development, pedestrian connections shall be provided at the end of cul-de-sacs or between lots to adjacent developments (where existing connections or undeveloped land exists) and/or through open space or trail linkages (See Figure 16).

**Figure 17: Pedestrian Connections Provided Between 600-Foot Distant Road Connections**



- (d) At least one ingress and one egress connection shall be provided to every adjacent trail, open space, or contiguous development(s).
- (e) Street trees shall be provided on all new streets and shall be selected from species that, at maturity, will provide a tree canopy along the street. Selected trees shall be selected from street trees identified in the City's Recommended Street Tree List and the City's Street Tree Plan.
- (f) In the North Redmond Wedge Subarea, Redmond-Woodinville Road, from NE 124th Street to the intersection of Redmond-Woodinville Road at 154th Place NE/NE 109th Street, shall include:
  - (i) Vegetated treatments at locations depicted on the Green Corridor Treatment Areas Map that is found in the North Redmond Neighborhood Plan section of the Redmond Comprehensive Plan. A recommended species guide, including "The Plant List," may be obtained from Redmond's Planning Department. Treatments shall be designed and installed to:
    - (A.) Have proper overhead clearance and comply with sight distance for roadway traffic;
    - (B.) Be drought-tolerant and easy to maintain;
    - (C.) Provide visual interest and include various native species;
    - (D.) Complement the scale of the treatment area, be narrower in form, and spaced closely within the natural tolerance of each species;
    - (E.) Tolerate urban conditions including salt, wind, and pollution; and
    - (F.) Provide seasonal interest with seasonally flowering species and varying colors.
  - (ii) Planting shall follow the treatment area template, Figure 17, as space permits.
    - (A.) Multi-story, canopy-forming, native vegetation through the following design and installation techniques:
    - (B.) Street trees shall be selected and installed in groupings of three various species to achieve a naturalized character.

(C.) Vegetation within required medians, along the street edge, and along both sides of sidewalks, where feasible, within the right-of-way.

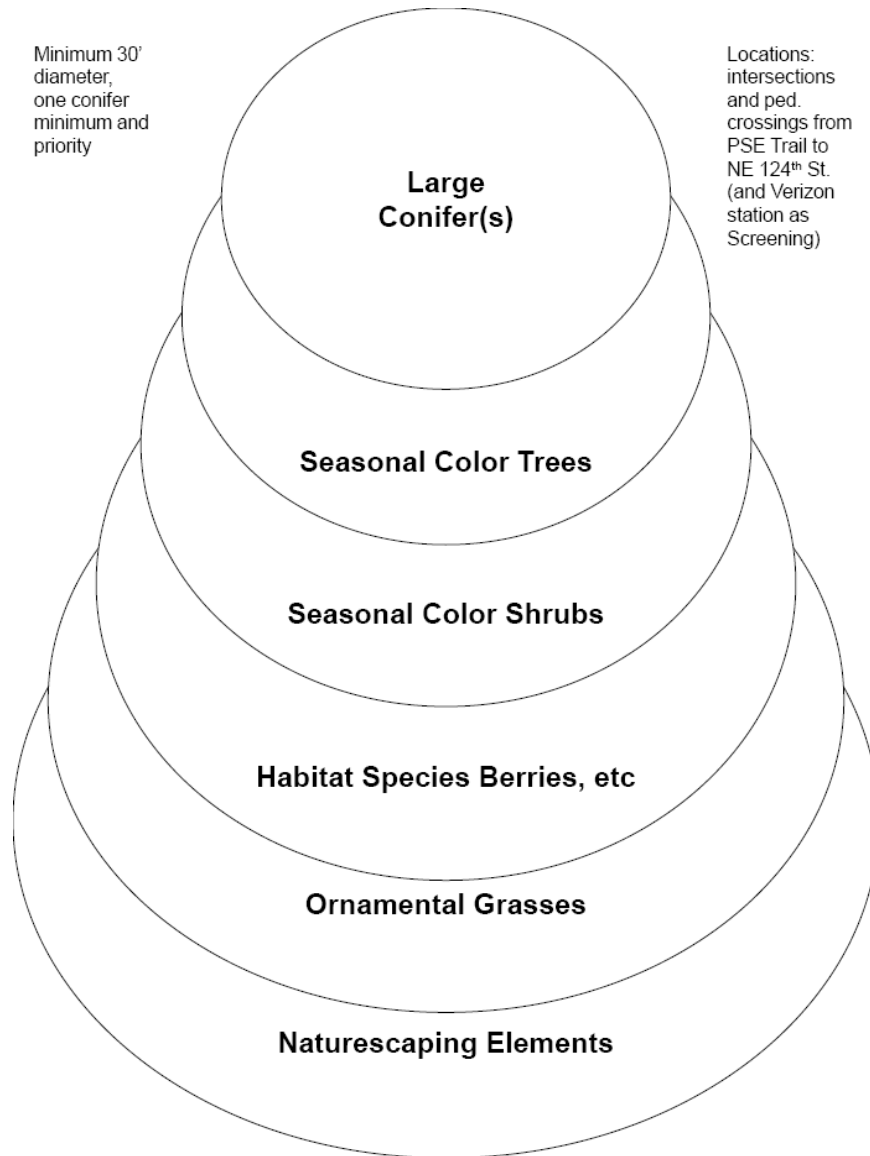
(D.) Vegetation at bus stops.

(E.) Vegetation on publicly owned land at street intersections and at the ingress and egress of non-motorized connections such as trails and paths.

(iii) Benches to provide resting locations throughout the corridor shall be installed one-quarter mile apart, inclusive of benches provided at bus stops and public parks and trails. The Administrator may approve alternative locations and amenities that meet the intent of this section.

(iv) Character street lighting shall be incorporated into the corridor. Pedestrian-scale character lighting shall be provided at street intersections, at locations depicted on the Green Corridor Treatment Areas Map found in the North Redmond Neighborhood Plan section of the Redmond Comprehensive Plan, and at entrances to private development. Design, orientation, screening, and shading shall prevent light trespass.

**Figure 18: Treatment Area Template**



- (g) Access to private developments within the North Redmond Wedge Subarea from 154th Place NE shall be minimized by combining access routes as defined on the North Redmond Supplemental Connections Map. Minimal and limited trespasses of critical areas along the west side of 154th Place NE from the intersection with Redmond-Woodinville Road north to the City limits may occur through RZC 21.64, Critical Areas. In addition to critical areas requirements, the trespass shall also meet the following requirements unless, with the exception of RZC 21.64, Critical Areas, other techniques that meet the intent of this section are approved by the Administrator:
- (i) Trespass may occur only for vehicular and non-vehicular access and utilities.
  - (ii) Easements, corridors, and alignments associated with these trespasses shall be combined where feasible.
  - (iii) Trespass shall be offset with enhancement and restoration to soils and vegetation on-site.
  - (iv) The trespass, as conditioned, will result in the minimum possible impacts to affected critical areas, existing soils, and existing vegetation.
- (h) Street lighting within the North Redmond Wedge subarea, west of the Redmond-Woodinville right-of-way, shall be selected and configured to minimize light pollution, minimize light trespass as viewed from the Sammamish Valley, and ensure no light trespass at water bodies.



## ~~21.08.330 — Green Building and Green Infrastructure Incentive Program~~

### ~~(A) Purpose.~~

~~(1) The purposes of these provisions are to:~~

- ~~(a) Reduce the negative impact of residential development on the natural environment;~~
- ~~(b) Reduce development costs related to construction and the provision of utilities; and~~
- ~~(c) Manage storm water in a way that mimics natural storm water management.~~

~~These objectives are met by providing incentives to implement green building and green infrastructure development techniques in residential development. Thus, instead of mitigating the impacts of residential development, this division encourages applicants to reduce impacts in the first place, mitigating the remainder in accordance with existing regulations.~~

### ~~(B) Applicability.~~

- ~~(1) The provisions of this division may be applied to developments that are primarily residential in nature in all residential zones. They may apply to a range of projects, from new single-family homes to multi-building multifamily residential developments, applied in conjunction with the requisite land use permit, such as a subdivision, binding site plan, or site plan approval.~~
- ~~(2) An application submitted under this division authorizes those fee simple and common lot housing types that are specified in this division, specified as permitted or conditional use types in RZC 21.08.020 through 21.08.140, or specified in any neighborhood specific regulation. This division does not eliminate the requirement to obtain a conditional use permit if such a permit would otherwise be required, unless specifically noted in this division.~~
- ~~(3) Not all incentives established in this division apply to all types of land development.~~

### ~~(C) Required Elements.~~

#### ~~(1) Site Review.~~

- ~~(a) As part of the pre-application conference or other initial land use entitlement application meeting with the City, the applicant shall prepare a site plan generally identifying the following:
  - ~~(i) Areas of predominantly native, noninvasive vegetation;~~
  - ~~(ii) Other general vegetation characteristics, such as health, density, suitability to existing location, whether or not it appears to be naturally occurring, whether it connects to off-site native vegetation, and whether and how it appears to be reclaiming previously disturbed land;~~
  - ~~(iii) Natural hydrologic features such as streams, wetlands, seeps, and springs;~~
  - ~~(iv) Slope characteristics;~~
  - ~~(v) Wellhead Protection Zone number(s).~~~~
- ~~(b) The review described in subsection (1)(a) of this section shall be general in nature and is expected to require minimal, if any, consultation with technical experts.~~
- ~~(c) The applicant shall attach to the general site review a brief report describing how the site's features lend themselves to the application of green infrastructure (i.e., low impact development) techniques. The report shall include, at a minimum, a list of potentially appropriate techniques and a brief description of how the site analysis supports the applicant's conclusion that those techniques may be appropriate. A list of potential techniques can be found in the Low Impact Development Technical Guidance Manual for Puget Sound, or its successor.~~

~~(2) All proposals incorporating native soil preservation or restoration, permeable materials, green (vegetated) roofs, minimal excavation foundations, or bioretention (described below in subsection (E) of this section, Techniques Explained), shall require a "Site Assessment for LID" consistent with the requirements of the Redmond Stormwater Technical Notebook. The "Site Assessment for LID" is optional for proposals submitted under this division that do not incorporate the techniques listed above.~~

~~(3) Operations and Maintenance. A maintenance agreement shall be prepared and distributed to property owner(s) for projects employing on-site storm water management facilities that will be privately maintained. The maintenance agreement shall conform to the requirements of the Redmond Stormwater Technical Notebook, Chapter 2, Section 2.5.10, or its successor. The agreement shall legally bind current and future property owners to maintain the storm water facilities in perpetuity. Notice of the agreement shall be provided on the face of the plat, if applicable.~~

~~(4) Notice. The following notice shall be recorded against properties, excluding commonly owned tracts, on which privately maintained storm water management facilities will be located: "This property contains a storm water management facility, such as a green roof or rain garden, that the owner of this property is required to maintain. Storm water management facilities help collect, treat, and discharge or infiltrate rainwater. These facilities protect public health and safety, and protect the health of the natural environment. For more information about the facilities located on your property, refer to the storm water facility maintenance agreement provided by the developer of this property, a copy of which is on file with the City of Redmond."~~

~~(D) Techniques and Incentives. Techniques and Incentives Tables. The tables below summarize the sustainable development techniques for which points are awarded, and the incentives toward which points may be used. Following the tables, subsections (E) and (F) of this section explain the techniques and incentives in detail. Definitions and descriptions of on-site natural storm water management techniques can be found in the Redmond Stormwater Technical Notebook. All references to the Redmond Stormwater Technical Notebook in this division are references to the most recent edition of the Notebook or its successor document, as well as documents that the Notebook references.~~

### Green Building and Green Infrastructure Incentive Program Techniques

Technique	Points Awarded
1. Site assessment	2 (when optional)
— Assessments plus identification of amenities	1 additional
2. Green Building Certification	
3-star/LEED certified	4
4-star/LEED silver	2
5-star/LEED gold	3
3. Drought-tolerant landscaping	4
4. Native vegetation retention	
20 percent	4
30 percent	2
50 percent	3
5. Native soil preservation	4
6. Native soil restoration	2
7. Impervious surface area reduction	
40 percent	4
20 percent	2
8. Permeable materials	
50 percent	4
100 percent	2
9. Green (vegetated) roofs	
First 10,000 sq. feet of green roof area proposed under this program	1 point per 1,000 sq. feet of green roof area
Next 20,000 sq. feet of green roof area proposed under this program	1 point per 2,000 sq. feet of green roof area
25 percent of roof area	4
50 percent of roof area	2
10. Roof rainwater collection	4
11. Minimal excavation foundation	
First 10 structures constructed under this program using this technique	1 point per structure
Next 20 structures constructed under this program using this technique	1 point per two structures
Thereafter, developments using this technique for all structures	3
12. Bio-retention or infiltration	
50 percent detained or infiltrated	4
75 percent detained or infiltrated	2
100 percent detained or infiltrated	3

**Green Building and Green Infrastructure Incentive Program Incentives**

Incentive	Points Required
1. Sustainable development award	0
2. Priority building permit processing	0
3. Online and print recognition	2
4. Unit type flexibility	
Duplex	3
Triplex	4
Fourplex	5
5. Lot size reduction	
15 percent	2
25 percent	3
30 percent	4
6. Density bonus	
5 percent	3
10 percent	5
7. Clustered node	4
8. Alternative road standard	2
Note: Storm water infrastructure requirements are based in part on impervious area. Use of the methods in the Techniques Table above is likely to reduce infrastructure costs — an additional incentive.	

(E) Techniques Explained. Many of the techniques below are described in more detail in the most recent edition of the Redmond Stormwater Technical Notebook.

(1) Site Assessment. (Three points possible)

- (a) In addition to the required site review described in subsection (C)(1) of this section, no later than the time of land use entitlement formal application submittal, the applicant shall prepare a “Site Assessment for LID” consistent with the requirements of the Redmond Stormwater Technical Notebook. The “Site Assessment for LID” is required when certain natural storm water management techniques are used (see subsection (C)(2) of this section). When this technique is optional, it shall be worth two points.
- (b) No later than the time of land use entitlement formal application submittal, the applicant may describe in written and graphic form how some or all of the elements identified in subsection (E)(1)(a) of this section will be used as amenities for future residents. This shall at a minimum include identification of open space tracts, nonmotorized trail corridors, or both, that would not ordinarily be required. (One point)

(2) Green Building Certification. Use the table below to determine the appropriate type of green building certification for the proposed development. Applicants may certify using BuiltGreen, LEED, or another program determined by the Technical Committee to be of similar rigor.

**Green Building Certification**

Development Type	Certification Level	Points Awarded
Single family development	BuiltGreen 3-star/LEED for Homes certified	1 if all new units are certified
	BuiltGreen 4-star/LEED for Homes silver	2 if all new units are certified
	BuiltGreen 5-star/LEED for Homes gold <sup>1</sup>	3 if new all units are certified
Multifamily development	BuiltGreen 3-star/LEED for New Construction certified	1 if all buildings are certified
	BuiltGreen 4-star/LEED for New Construction silver <sup>2</sup>	2 if all buildings are certified
	BuiltGreen 5-star/LEED for New Construction gold <sup>2, 3</sup>	3 if all buildings are certified

<sup>1</sup> One unit or 20 percent of all units, whichever is greater, shall be certified at the 5-star/LEED gold level; all others shall meet or exceed the 4-star/LEED silver level.

~~2—Applicants may certify using BuiltGreen only if 4 star or 5 star levels are available for the particular development type. Otherwise, proponents must certify using LEED or a similarly rigorous protocol.~~

~~3—One residential building, or buildings comprising at least 20 percent of the residential units, whichever is greater, shall be certified at the 5-star/LEED gold level; all others shall meet or exceed the 4-star/LEED silver level.~~

~~(3) Drought-Tolerant Landscaping. (One point)~~

~~(a) All required street and open space tract landscaping areas shall be landscaped with drought-tolerant, noninvasive vegetation appropriate for site conditions, including but not limited to levels of moisture, shade, slope, wind, types of local wildlife, and proximity to existing or future dwellings. Recreation areas, such as for pick-up games and picnicking, and private yard areas, except as noted in subsection (E)(3)(b) of this section, are specifically exempt from this requirement. In those areas, the use of noninvasive drought-tolerant landscaping is encouraged. Applicants shall choose from the Drought-Tolerant Plants section of The Plant List or its successor, published by the Saving Water Partnership, or shall choose other species that meet the requirements of this subsection, as determined by the Administrator.~~

~~(b) A minimum of 51 percent of the planted area in the front yard of each lot shall be native and appropriate for site conditions, including but not limited to levels of moisture, shade, slope, wind, types of local wildlife, and proximity to existing or future dwellings. Plantings shall include a mix of trees or shrubs and living ground cover. Applicants shall choose from the Favorite Pacific Northwest Native Plants section of The Plant List or its successor, published by the Saving Water Partnership, or shall choose other species that meet the requirements of this subsection, as determined by the Administrator. Native plantings shall be identified on landscaping plans.~~

~~(c) Landscaping plans are required and shall be completed by a certified landscape architect or certified nurseryman.~~

~~(4) Native Vegetation Retention. Twenty percent (one point), 30 percent (two points), or 50 percent (three points) of the native vegetation area (native vegetation is defined in RZC 21.78, Definitions) shall be retained in native vegetation and set aside in native-growth protection areas.~~

~~(a) For calculation purposes, total native vegetation area shall include the following, in order from highest priority to lowest priority:~~

~~(i) Critical areas and associated buffers;~~

~~(ii) Forested stands of native trees, including a five-foot buffer from the exterior dripline;~~

~~(iii) Contiguous areas of native vegetation;~~

~~(iv) Other native trees, including a five-foot buffer from the dripline; and~~

~~(v) Noncontiguous areas of native vegetation.~~

~~(b) Once calculated, native vegetation shall be preserved in the following ways, in order from highest priority to lowest priority:~~

~~(i) In critical areas tracts;~~

~~(ii) In native-growth protection easements;~~

~~(iii) As common open space;~~

~~(iv) On individual lots in areas no less than 100 square feet, where no dimension is less than 10 feet, and where the native vegetation is delineated with a split rail fence.~~

~~(c) When a lower priority area is proposed for retention instead of a higher priority area, the applicant shall:~~

~~(i) Provide a written explanation of why the higher priority area is not proposed to be retained; and~~

~~(ii) Enhance the lower priority vegetation according to a native revegetation plan.~~

~~(d) When native vegetation is proposed to be preserved in a lower priority manner before a higher priority manner, the applicant shall provide a written explanation of why the higher priority method of preservation is not proposed; the applicant shall demonstrate that the proposed preservation scheme meets the objectives of this division at least as well as the scheme described in subsection (E)(4)(c) of this section.~~

~~(c) When required, a native revegetation plan shall conform to the following:~~

~~(i) Plants shall be selected by a qualified professional based upon site suitability and shall include a multilayer canopy at maturity of large trees (covering 50 percent of the plan area), small trees, and shrubs unless the professional determines in written form that the revegetation area is not suitable for such a mix;~~

~~(ii) In native growth protection areas larger than 0.5 acres, the ratio of evergreens to deciduous trees shall be 2:1;~~

~~(iii) Plantings shall be native to western Washington and suitable for the site and for suburban residential areas. Applicants shall choose species from the Favorite Pacific Northwest Native Plants section of The Plant List or its successor, published by the Saving Water Partnership, or shall choose species that meet the requirements of this subsection, as determined by the Administrator. Trees shall measure at least two and one-half inches in caliper (deciduous) or six feet in height (evergreen) at time of planting.~~

~~(5) Native Soil Preservation. (One point)~~

~~(a) The applicant shall preserve native soils in accordance with the guidelines contained in the Redmond Stormwater Technical Notebook.~~

~~(b) Restoring previously disturbed soils as described in the Notebook is required to earn two points.~~

~~(6) Native Soil Restoration. (Two points)~~

~~(a) In addition to preserving native soils in accordance with the guidelines contained in the Stormwater Technical Notebook, the applicant shall amend all soils that have been previously disturbed or that will be disturbed during construction of the proposed development in accordance with the guidelines contained in the Redmond Stormwater Technical Notebook.~~

~~(b) Points may be awarded for subsection (E)(5) of this section, or this subsection, but not both.~~

~~(c) The use of this technique is required in the North Redmond neighborhood in order to use the density bonus incentive. In the North Redmond neighborhood, native soil restoration is required to use the five percent density bonus; native soil restoration and native vegetation retention at the 50 percent level are both required to use the 10 percent density bonus.~~

~~(7) Impervious Surface Area Reduction. Maximum impervious surface area created through a residential development proposal pursuant to the requirements set forth in the zone use chart for the residential zone in which the property is located (RZC 21.08.020 through 21.08.140), shall be reduced by either at least 10 percentage points (one point) or at least 20 percentage points (two points) of the total site area (e.g., maximum impervious surface in the R-4 zone would be reduced from 60 percent to 50 percent for one point or 40 percent for two points). Impervious surface area may be calculated on a development-wide basis to provide lot-by-lot flexibility, per RZC 21.08.170(L)(2)(b).~~

~~(8) Permeable Materials Use to Reduce Effective Impervious Surface Area.~~

~~(a) Permeable materials shall be used for 50 percent (one point) or 100 percent (two points) of proposed impervious surfaces, including but not limited to patios, walkways, sport courts, and sidewalk areas, subject to the provisions in subsections (8)(b) through (d) of this section.~~

~~(b) Permeable materials may be used on all soil types where information has been generated by a certified professional (e.g., a geotechnical engineer) and approved by the Public Works Director, demonstrating that the pervious material will function as designed.~~

~~(c) Permeable materials are allowed to replace pollution-generating impervious surfaces only in Wellhead Protection Zones 3 and 4, in accordance with the Stormwater Technical Notebook. Permeable materials may only replace non-pollution-generating impervious surfaces in Wellhead Protection Zones 1 and 2, in accordance with the Stormwater Technical Notebook.~~

~~(d) Permeable materials shall be considered a storm water facility and so must be included in the required maintenance agreement.~~

~~(e) In instances where the City prohibits permeable materials in the right-of-way, impervious surfaces within the right-of-way shall not count against the applicant when calculating the number of points earned through this subsection.~~

~~(9) Green Roofs.~~

~~(a) Vegetated roofs shall be designed according to the guidelines of the Redmond Stormwater Technical Notebook.~~

~~(b) Compliance with this storm water management technique shall require review and approval by the Building Official.~~

~~(c) The first 10,000 square feet of green roof area proposed under this division shall earn one point per 1,000 square feet; the next 20,000 square feet of green roof area shall earn one point per 2,000 square feet; thereafter, applicants shall earn one point when designed for 25 percent of total project roof area and two points when designed for at least 50 percent of total project roof area.~~

~~(10) Roof Rainwater Collection. (One point)~~

~~(a) Rainwater from all roofs shall be collected for nonpotable water purposes (i.e., rainwater harvesting). Construction, design, and maintenance specifications for rainwater collection shall meet standards adopted in the most recent version of the Redmond Stormwater Technical Notebook.~~

~~(b) This technique is only allowed when consistent with state law.~~

~~(11) Minimal Excavation Foundation.~~

~~(a) Construction, design, and maintenance specifications of minimal excavation foundations shall meet standards adopted in the most recent version of the Redmond Stormwater Technical Notebook.~~

~~(b) The first 10 structures constructed using minimal excavation foundations shall earn one point per structure; the next 20 structures constructed using minimal excavation foundations shall earn one point per two structures; thereafter, developments incorporating minimal excavation foundations for all residential structures shall earn three points.~~

~~(12) Bioretention or Infiltration.~~

~~(a) Where soils permit infiltration, infiltration elements shall infiltrate at least 50 percent (one point), 75 percent (two points) or 100 percent (three points) of the 50-year storm.~~

~~(b) Where soils do not permit infiltration, bioretention elements, such as rain gardens and bioretention swales, shall detain at least 50 percent (one point), 75 percent (two points) or 100 percent (three points) of the six-month storm.~~

~~(F) Incentives Explained~~

~~(1) Sustainable Development Award. The City shall develop and maintain a Sustainable Development award, to be awarded annually to no more than one project that best implements the provisions of this division. the City reserves the right not to grant an award in a given year. (Zero points)~~

~~(2) Priority Building Permit Processing. Building permit applications for single-family residential structures that seek BuiltGreen 4-star or LEED silver certification or higher shall be eligible for the City's Green Residential Pilot Permitting Program or its successor. (Zero points)~~

- ~~(3) Online and Print Recognition. The applicant may request that the City publish a "Featured Sustainable Development" article in a City newsletter and on the City website, and that the City publish a press release publicizing the sustainable development techniques used in the project. (Two points)~~
- ~~(4) Unit Type Flexibility. (Three points for incorporating duplexes; four points for duplexes and/or triplexes; five points for duplexes, triplexes, and/or fourplexes)~~
- ~~(a) Two-unit, three-unit, and four-unit attached dwellings may be included in proposed subdivisions as permitted uses.~~
  - ~~(b) Such structures shall comply with RZC 21.08.260, Attached Dwelling Units, except that such structures shall not be required to access directly to an arterial.~~
  - ~~(c) In no case shall the allowed density be exceeded unless allowed by neighborhood regulations, nor shall neighborhood or subarea requirements for attached dwelling unit permitting or separation be superseded.~~
  - ~~(d) When average minimum lot size is reduced through this division, the reduced average minimum lot size shall serve as the baseline for calculating the required minimum lot size for lots with attached dwelling units.~~
- ~~(5) Lot Size Reduction. In residential zones where minimum average lot sizes apply, the minimum average lot size may be reduced up to 30 percent, depending on the number of points used, according to the table in subsection (D) of this section. The proposed average lot size of all lots included in a development shall define all other site requirements (as shown in zone use chart for the residential zone in which the property is located, RZC 21.08.020 through 21.08.140 with the exception of provisions relating to allowed density, which shall remain with the underlying zone, and of provisions otherwise modified by this division). For example, a subdivision in an R-4 zone with an average lot size of 4,900 square feet would be subject to the site requirements, with the noted exceptions, of an R-5 zone since that is the nearest zone to which the average lot size would apply. (Two points for 15 percent lot size reduction; three points for 25 percent; four points for 30 percent)~~
- ~~(6) Density Bonus. Eligible developments shall be permitted a five percent or 10 percent density bonus, provided that the overall impervious surface of the development is not increased over what is allowed by this division. Use of cottages, size-limited dwellings, attached structures, and carriage units is encouraged to achieve the bonus. (Three points for up to five percent density bonus; five points for up to 10 percent)~~
- ~~(7) Clustered Node. Applicants may propose clusters of up to three residential structures containing no more than five dwelling units. Clusters may include two-unit attached dwelling units or three-unit attached dwelling units, but not four-unit attached dwelling units.~~
- ~~(a) Structures within nodes shall be subject to a six-foot building separation requirement or the minimum separation required by the building code, whichever is greater. Citywide and neighborhood-specific building separation and setback requirements apply to the perimeter of the clustered node.~~
  - ~~(b) Minimum lot size, minimum lot width circle, and minimum lot frontage requirements do not apply within the node. Minimum lot sizes for lots within the node do count toward the minimum average lot size calculation. Points for reducing lot sizes are not required to propose a clustered node.~~
  - ~~(c) A clustered node must be separated from another clustered node on all sides by a single-family detached home, or lot or tract meeting size requirements for such, a street, or the height of the tallest structure within the clustered node, whichever is greatest.~~
  - ~~(d) Dwelling units within clustered nodes shall share vehicular access.~~
  - ~~(e) Applicants are encouraged to use techniques such as zero-lot-line, yard-use easements, and other creative structure arrangement techniques to provide functional private open space.~~
  - ~~(f) Density bonus points are required when clustered nodes result in project densities that are in excess of the underlying maximum zone density. (Four points)~~
- ~~(8) Alternative Road Standard. Applicants may propose local access streets that are consistent with the Green Infrastructure Street preliminary drawing, which is available from the Development Services Center. When this street is proposed, at least one on-street parking space shall be provided per dwelling unit proposed. The applicant may propose a lower standard if he/she submits a parking study demonstrating that a lower standard~~



~~would adequately serve the development and not adversely impact the safety of residents in or near the development. (Two points)~~

~~(G) Neighborhood and Supplemental Requirements~~

- ~~(1) Nothing in this division shall supersede neighborhood-specific regulations or neighborhood plan policies and objectives except where specifically noted.~~
- ~~(2) Single-family developments proposed through this division must meet residential architectural and site design standards specified in RZC 21.08.180.~~

**RZC**  
**Article V**  
**Land Division**

## **RZC 21.74 Land Division**

### **21.74.010 General Provisions**

### **21.74.020 Land Division Standards**

### **21.74.030 Decision Criteria and Procedures**

### **21.74.010 General Provisions**

(A) Purpose. The intent of this chapter is to:

- (1) Provide criteria, regulations, processes and standards to govern the division of land within the City;
- (2) Ensure that public facilities and services necessary to support development are adequate to serve the development at the time development occurs; and
- (3) Promote the public health, safety and general welfare in accordance with standards established by the state subdivision law, as set forth in RCW 58.17.010

(B) Scope.

- (1) Compliance. All division and re-division of land into lots, tracts, parcels, sites or divisions for the purpose of sale, lease or transfer of ownership shall comply with the requirements of this chapter except where specifically exempted herein. Subdivisions, short subdivisions, binding site plans, boundary line adjustments, unit lot subdivisions, plat alterations, and plat vacations are all considered divisions or re-divisions of land for purposes of this chapter.
- (2) Exemptions. The following divisions of land are exempt from the provisions of this chapter except where expressly indicated.
  - (a) Cemeteries. Cemeteries and other burial plots, while used for that purpose;
  - (b) Testamentary Divisions. Divisions made by testamentary provisions, or the laws of descent; provided, that a map is recorded with King County Records and Elections at the time the land is divided and that all lots created must meet all requirements of this chapter;
  - (c) Right-of-Way Acquisition and Condemnation.
    - (i) A division of land relating to the acquisition or exchange of land by public agencies, for public use except human occupancy, including but not limited to subdivisions made for road construction purposes;
    - (ii) A division of land for the sole use of the installation of linear utility facilities, such as electric power lines, telephone lines, water supply lines, sewer service lines, cable lines, or other utility facilities of a similar or related nature;
    - (iii) Division of land due to condemnation or sale under threat thereof by an agency or division of government vested with the power of condemnation; if sale is made under threat of condemnation, such threat must be evidenced by the government agency filing an affidavit so stating with the King County Auditor;
  - (d) A division for the purpose of leasing land for facilities providing personal wireless services while used for this purpose.
  - (e) A division of land into lots or tracts of less than three acres that is recorded in accordance with chapter 58.09 RCW and is used or to be used for the purpose of establishing a site for construction and operation of consumer-owned or investor-owned electric utility facilities. This subsection does not exempt a division of land for electric utility facilities from any other provision of this Chapter. Furthermore, this subsection only applies to electric utility facilities that will be placed into service to meet the electrical needs of a utility's existing and new customers.

- (C) Compliance. All divisions of land shall comply with this Chapter and the provisions of the Redmond Zoning Code. Any portion of a lot that was used to calculate compliance of the lot with the standards of the Redmond Zoning Code or its predecessor, the Redmond Community Development Guide, shall not be subsequently subdivided or segregated from such lot or lots or sold or transferred separately from such lot or lots.

## 21.74.020 Land Division Standards

### (A) Lot Standards.

- (1) All lots shall meet the site requirements of the zoning district in which they are located and shall be of sufficient size, dimension, design, and configuration so as to permit development of the lot without variance from the applicable zoning requirements.
- (2) Building Setback Lines. Where watercourses, topography, geology and soils, vegetation, utilities, lot configuration, or other unique circumstances dictate a different building envelope than that set forth in the site requirements for the zoning district in which the lot is located, building setback lines may be required to be shown on the land division instrument and observed in the development of the lot.
- (3) Future Subdivision of Lots. Where the subdivision or short subdivision will result in a lot one-half acre or larger in size which is likely to be further divided in the future, it may be required that the location of lot lines and other details of layout be such that future division may readily be made without violating the requirements of this section and without interfering with orderly extension and connection of adjacent streets.

### (B) Exceptions to Lot Standards.

- (1) Green Building and Green Infrastructure Incentive Program. The relaxation of certain development requirements may be authorized for a residential development proposed in compliance with RZC ~~21.08.330~~ [21.67](#), Green Building and Green Infrastructure Incentive Program. The proposal must be consistent with the purpose and criteria set forth in RZC 21.74.010(A), Purpose, and 21.74.030(B) Decision Criteria for Approval of Subdivisions and Short Subdivisions, of this chapter respectively.
- (2) Government Action. Parcels smaller than otherwise permitted by the Zoning Code may be created through the action of governmental agencies, including eminent domain and the splitting of a parcel by dedicated right-of-way. Wherever possible, such parcels shall be merged in title with adjacent lots to create lots in compliance with adjacent lots to create lots in compliance with the Zoning Code.
- (3) Lots for Building Pads. In industrial, business park, mixed-use, and multifamily residential zones, lots with boundaries coterminous or nearly so with building walls may be created. The standards that normally would apply to such lots shall apply instead to the project tract of which such lots are a part.

### (C) Easements.

- (1) Public and private easements for the construction and maintenance of water, sewer, storm drainage, and other utilities and public and private facilities shall be granted to provide and maintain adequate utility service to each lot and adjacent lands. Public easements shall be a minimum of 20 feet in width unless the City determines a smaller or larger width is appropriate based on site conditions. Private utility easements shall be a minimum of 10 feet in width unless the City determines a smaller or larger width is appropriate based on site conditions.
- (2) Whenever possible, public utility easements shall be located along the centerlines of the utilities or facilities and shall be combined with driveways, pedestrian accessways, and other utility easements, and shall connect with off-site easements on adjacent lands. The City may impose restrictions on the grantor's retained use of any public utility or facility easement in order to ensure that the public use is not unreasonably interfered with.
- (3) When there is a need for storm water conveyance via any waterway, public improvement and maintenance easements shall be provided and shall extend 25 feet in each direction from the waterway centerline or 10 feet from the top of a recognizable bank, whichever is greater. Such easements shall be of a width sufficient to allow both initial improvements and future maintenance operations. Larger widths may be required when necessary.
- (4) Native Growth Protection Easements (NGPEs) shall be granted where the preservation of native vegetation is reasonably necessary to control surface water and erosion, maintain slope stability, provide visual and aural buffering, protect plant and animal habitat, or otherwise protect critical areas as described in RZC 21.64.010(R),

RZC 21.74: Land Division

General Critical Area Protective Measures. The NGPE shall require all present and future owners of the easement area to leave undisturbed all trees and other vegetation within the easement without the express permission of the City of Redmond.

- (5) Easements required by this section shall be granted by the terms and conditions of such easements being shown on the face of the land division instrument approved for recording under this chapter or by separate instrument.
- (D) Water, Sewer, and Storm Drainage Systems. All lots shall be served by adequate public water, sanitary sewer, and storm drainage systems approved by the City and meeting the design and construction requirements of the City's Technical Design and Construction Manuals. The City may approve alternate sanitary sewage disposal systems where necessary to meet unique circumstances where compliance with the City's requirements is not feasible. All public water, sanitary sewer, and storm drainage systems shall be placed underground in appropriate public easements or tracts and dedicated to the City, provided, that those portions of storm water systems that are required to be above-ground in order to function; i.e., storm water ponds, drainage swales, and similar facilities, may be installed above-ground. Where a public street is to be dedicated or where a public street is widened or structurally altered by an applicant as a condition of land division approval, the applicant shall provide and dedicate any required storm drainage system.
- (E) Watercourses. Buffers required by RZC 21.64, Critical Areas Regulations shall apply to all critical areas within land divided under this chapter. When required by the City in order to mitigate or avoid impacts from the development, the developer of a land division shall enhance a stream which traverses or abuts the land division in accordance with the mitigation requirements of RZC 21.64.120, Mitigation Standards, Criteria and Plan Requirements. Any required watercourse easements shall be dedicated as provided in RZC 21.74.020(C), Easements, of this chapter.
- (F) Underground Utilities. All permanent utility service to lots shall be provided from underground facilities as set forth in RZC 21.54.020, Electrical Equipment and Wiring. The applicant shall be responsible for complying with the requirements of this section and shall make all necessary arrangements with the utility companies and any other persons or corporations affected by installation of such underground facilities in accordance with the rules and regulations of the Washington Utilities and Transportation Commission.
- (G) Street Standards. All street improvements, grades, widths, construction and design shall comply with the standards and specifications as set forth in the City's Technical Design and Construction Manuals. Additional right-of-way width may be required where future conditions and development impacts warrant, or where topographical requirements necessitate cuts or fills for proper grading of the streets. Street lights, including underground electrical service, light standards, wiring, and lamps, shall be installed by the developer in accordance with the City's Technical Design and Construction Manuals.
- (H) Monuments.
- (1) Permanent survey control monuments shall be provided for all land divisions at:
- (a) All controlling corners on the boundaries of the land division;
  - (b) The intersection of centerline of roads within the land division; and
  - (c) The beginning and ends of curves on centerlines or points of intersections on tangents.
- (2) Permanent survey control monuments shall be set in two-inch pipe, 24 inches long, filled with concrete or shall be constructed of an approved equivalent. Permanent survey control monuments within a street shall be set after the street is paved. Every lot corner shall be marked by a three-quarter inch galvanized iron pipe or approved equivalent, driven into the ground. If any land in a land division is contiguous to a meandered body of water, the meander line shall be re-established and shown on the final plat, short plat, or other recorded land division instrument.
- (I) Public Non-Motorized Accessways.
- (1) When necessary for public convenience or safety, the developer shall improve and dedicate to the public non-motorized accessways to connect to cul-de-sac streets, to pass through oddly shaped or unusually long blocks, to provide for networks of public paths creating access to schools, parks, shopping centers, mass transportation stops or other community services.

- (2) The accessway shall be of such design, width and location as reasonably may be required to facilitate public use and shall comply with RZC 21.52, Transportation Standards, as well as the specifications and standards of the Director of Public Works. Where possible, said dedications may also accommodate utility easements and facilities.
- (J) Clearing and Grading. All clearing and grading shall be conducted in compliance with the provisions set forth in Chapter 15.24 RMC, Clearing, Grading and Storm Water Management.
- (K) Survey Required. The survey of every proposed land division shall be made by or under the supervision of a registered land surveyor. All surveys shall conform to standard practices and principles of land surveying as set forth in the laws of the State of Washington. Primary survey control points shall be referenced to section corners and monuments.
- (L) Improvements, Completion or Guarantee.
- (1) Short Subdivisions. Short subdivision improvements must be deemed substantially complete by the City, with all fire and safety items constructed, before the final short subdivision may be recorded. The applicant shall financially guarantee installation of any remaining improvements not completed before short plat recording pursuant to the provisions of RZC 21.76.090(F), Performance Assurance.
- (2) All Other Land Divisions. For all land divisions other than short subdivisions, the applicant shall either complete the required improvements before the land division is finally approved or the applicant shall financially guarantee installation of the same pursuant to the provisions set forth in RZC 21.76.090(F), Performance Assurance.
- (M) Transfer and Development of Lots Not Divided According to This Chapter.
- (1) Legal Lot Criteria for Building or Transfer of Ownership. A lot is considered a lot of record if it meets any one of the criteria listed below. Lots of record may be transferred and developed as separate legal lots even though such lots may not have been created according to this chapter. Even though a lot may be deemed legal, development on said lot shall be subject to all applicable sections of the RZC.
- (a) Lots of record include:
- (i) Any lot, the legal description of which has been recorded in a plat or short subdivision filed with the County Auditor after June 9, 1937;
- (ii) Any lot created and separately developed before June 9, 1937;
- (iii) Any lot, the legal description of which is on file with the County Auditor in an assessor's plat recorded in accordance with Chapter 58.18 RCW;
- (iv) Lots created by court order for adverse possessions or divorces;
- (v) Lots exempted under section (M)(1) above and lots transferred to a bona fide innocent purchaser for value in accordance with this chapter;
- (vi) Any lot created prior to October 21, 1979, and not otherwise meeting the criteria set forth above, provided that there must be no adjoining lots of record of contiguous boundary in the same ownership to which the substandard lot can be merged in title or with which the lot lines can be adjusted to create lots of record that would comply with this chapter.
- (2) Innocent Purchaser and Public Interest.
- (a) Innocent Purchasers. The Administrator shall determine that parcels that meet the following criteria are lots of record, for purposes of section (M)(1) above:
- (i) Zoning and Public Health. The parcel meets minimum zoning and dimensional requirements, including lot size, dimensions and frontage width, which are currently in effect or in effect at the time the parcel was created; and

- (ii) Status. The current property owner purchased the property for value and in good faith, and did not have knowledge of the fact that the property acquired was divided from a larger parcel in violation of the state and county regulations listed under “lots of record” in section (M)(1)(a) above;
  - (iii) Permits. A building permit or septic tank permit was issued for the parcel prior to July 26, 1999.
- (b) Public Interest, Mandatory. The Administrator shall determine that parcels, which meet both of the following criteria, are lots of record:
- (i) Zoning and Public Health. The parcel meets minimum zoning and public health dimensional requirements currently in effect, including lot size, dimensions and frontage width; and
  - (ii) Status.
    - (A.) The property owner completes conditions of approval which the Administrator determines would otherwise be imposed if the parcel had been established through platting under current standards; or
    - (B.) The Administrator determines that improvements or conditions of approval, which would have been imposed if the parcel had been established through platting, are already present and completed.
- (c) Public Interest, Discretionary. The Administrator may, but is not obligated to determine that parcels meeting the following criteria are lots of record:
- (i) Zoning and Public Health. The parcel lacks sufficient area or dimension to meet current zoning and public health requirements but meets minimum zoning dimensional requirements and health requirements, including lot size, dimensions and frontage width, in effect at the time the parcel was created; and
  - (ii) Status.
    - (A.) The property owner completes conditions of approval which the Administrator determines would otherwise be imposed if the parcel had been established through platting under current standards, or
    - (B.) The Administrator determines that conditions of approval which would have been imposed if the parcel been established through platting under current standards are already present on the land;
  - (iii) The Administrator shall consider the following factors as favoring a lot of record determination under the discretionary public interest exception, although no one factor is determinative:
    - (A.) The parcel size is consistent with surrounding lots of record,
    - (B.) Presence of an existing residence on the parcel,
    - (C.) Recognition of the parcel does not adversely impact public health or safety, or interfere with the implementation of the Comprehensive Plan,
    - (D.) The parcel purchase value and subsequent tax assessments are consistent with a buildable lot of record.

**21.74.030 Decision Criteria and Procedures**

(A) Application Submittal Requirements.

- (1) Scope. This section sets forth the requirements that must be met in order for applications for approvals governed by this chapter to be considered complete.
- (2) Preliminary Subdivisions. In order to be considered complete, each application for preliminary subdivision approval shall contain the following:
  - (a) A completed General Application Form and Project Contact Form;
  - (b) The required application fees;

- (c) A small-scale vicinity map (suitable for public notice purposes);
  - (d) A completed SEPA/CAO Fee Worksheet;
  - (e) A CAO Report, if required in RZC 21.64, Critical Areas Regulations, of these regulations;
  - (f) For large sites, key plat map showing the entire site on one large sheet;
  - (g) A set of preliminary plat plans showing the proposed layout of all lots, tracts, parcels, and streets;
  - (h) A Preliminary Storm Water Report;
  - (i) A SEPA Application Form, together with a completed City of Redmond SEPA Checklist;
  - (j) A traffic study, if required by the Public Works Department;
  - (k) A title report or plat certificate for all parcels involved;
  - (l) Density calculations indicating maximum and minimum density requirements for the proposal and including density bonus calculations, if applicable;
  - (m) A transportation certificate of concurrency or, if no such certificate has been issued at the time of application, all information required for a transportation concurrency determination under RZC 21.54.010, Transportation Concurrency.
  - (n) A reduced site plan showing proposed lot layout (suitable for public notice purposes); and
  - (o) A tree preservation plan if trees are proposed to be removed as part of the proposal.
- (3) Short Subdivisions. In order to be considered complete, each application for short subdivision approval shall contain all of the items listed in section (A)(2) above for a preliminary subdivision application, except that the key plat map referred to in section (A)(2)(f) and the traffic study referred to section (A)(2)(j) shall not be required.
- (4) Binding Site Plans. In order to be considered complete, each application for binding site plan approval shall contain all of the items listed in section (A)(1) above for a preliminary subdivision application. In addition, the binding site plan application shall contain the following:
- (a) A topography map, labeled "Topography Map";
  - (b) A written explanation of any modification sought from code standards, labeled "Modification Sought from Code Standards";
  - (c) Draft covenants, conditions and restrictions labeled "CC&Rs" or any other restrictions or easements that may apply; and
  - (d) A drawing showing all existing and proposed utilities.
- (5) Authority of Administrator. The Administrator is hereby authorized and directed to provide more detailed requirements for each of the items required for the submittal of complete preliminary subdivision, short subdivision, and binding site plan applications, including size, scale, number of copies, and content. The Administrator shall administratively adopt application submittal requirements for all other applications made under this chapter, including, but not limited to, applications for boundary line adjustments, final plat approval, final short plat approval, plat alterations, and plat vacations.
- (B) Decision Criteria for Approval of Short Subdivisions, Binding Site Plans, Unit Lot Subdivisions, and Preliminary Subdivisions.
- (1) Each proposed short subdivision, binding site plan, unit lot subdivision, and preliminary subdivision shall be reviewed to ensure that:



- (a) The proposal complies with the general criteria applicable to all land use permits set forth in RZC 21.76.070(B), Criteria Applicable to All Land Use Permits;
- (b) The proposal conforms to the site requirements for the zoning district in which the property is located;
- (c) The proposal conforms to the requirements of this chapter;
- (d) The proposed short subdivision, binding site plan, unit lot subdivision, or preliminary subdivision:
  - (i) Makes adequate provision for streets, roads, alleys, other public ways, and transit stops as required by this Chapter, and the proposed street system conforms to the City of Redmond Transportation Master Plan and Neighborhood Street Plan and is laid out in such a manner as to provide for the safe, orderly and efficient circulation of traffic;
  - (ii) Will be adequately served with water, sewer, storm drainage, and other utilities appropriate to the nature of the subdivision or short subdivision;
  - (iii) Makes adequate provision for parks, recreation, and playgrounds, as required by this chapter;
  - (iv) Makes adequate provision for schools and school grounds;
  - (v) Makes adequate provisions for sidewalks and other planning features that meet the requirements of this chapter and that provide safe walking conditions for students who walk to and from school;
  - (vi) Serves the public interest and makes appropriate provisions for the public health, safety, and welfare.
- (e) Geotechnical considerations have been identified and all hazards and limitations to development have been considered in the design of streets and lot layout to assure streets and building sites are on geologically stable soil considering the stress and loads to which the soil may be subjected.

- (2) Lack of compliance with the criteria set forth in section (B)(1) above shall be grounds for denial of a proposed short subdivision, binding site plan, unit lot subdivision or preliminary subdivision, or for the issuance of conditions necessary to more fully satisfy the criteria.
- (3) Where a subdivision is to be developed in phases with a final plat approved and recorded separately for each phase, the applicant shall request approval of phasing in the preliminary subdivision application. Each separate phase shall be required to meet the requirements of section (B)(1) above and all other applicable City codes when considered independently from any other phase. Where an applicant requests phasing after preliminary subdivision approval has been granted, phasing may be approved only through modification of the preliminary subdivision approval using the preliminary subdivision approval procedures set forth in RZC 21.74.030(E), Preliminary Subdivision Procedures, of this chapter.

(C) Decision Criteria for Approval of Final Subdivisions.

- (1) No final subdivision shall be approved unless the final subdivision:
  - (a) Substantially conforms to all terms, conditions, and provisions of preliminary approval;
  - (b) Contains a dedication to the public of all common improvements, including but not limited to streets, roads, sewage disposal systems, storm drainage systems, and water supply systems which were a condition of approval. The intention to dedicate shall be evidence by the owner's presentment of a final plat showing the dedication, and the acceptance by the City shall be evidenced by the approval of the final plat; and
  - (c) Meets the requirements of this chapter, applicable state laws, and all other local ordinances adopted by the City which were in effect at the time a complete application for preliminary plat approval was filed.

(D) Short Subdivision Procedures.

- (1) Approval process. Short subdivisions shall follow the procedures established in RZC 21.76.050(G), for a Type II Review.

- (2) Decision by the Technical Committee. Each final decision of the Technical Committee shall be in writing and shall include findings and conclusions based on the record to support the decision. The decision made by the Technical Committee shall be given the effect of an administrative decision and may be appealed in accordance with RZC 21.76.060(E), Technical Committee Decisions on Type II Reviews.
- (3) Effect of Approval. Approval of the short subdivision shall constitute authorization for the applicant to develop the short subdivision facilities and improvements, upon review and approval of construction drawings by the Public Works Department. All such facilities and improvements shall be completed or have a performance assurance posted to assure completion as provided in RZC 21.76.090(F), Performance Assurance, prior to recording of the short subdivision. All development of a short subdivision shall be subject to any conditions imposed by the City on the short subdivision approval.
- (4) Short subdivision approval shall expire pursuant to the following:
  - (a) One year from the date of the Technical Committee Notice of Decision if construction drawings, required under RZC 21.76.090(F), Performance Assurance, have not been completed and approved by the City. No extensions shall be granted.
  - (b) Two years from the date of the Technical Committee Notice of Decision if the short plat has not been recorded. A single one-year extension may be granted by the Technical Committee if the applicant has attempted in good faith to submit the final short plat within the two-year period; provided, however, that the applicant must file a written request for extension at least 30 days prior to expiration of the two-year period.
- (5) Recording. All short subdivisions shall be recorded in compliance with the following:
  - (a) Fees and Recording Procedure. Prior to recording, the applicant shall submit the original short subdivision drawings to the Public Works Engineering Department for signatures.
  - (b) Recording Required. No short subdivision shall be recorded unless approved as provided in this chapter. Further, recording shall not be authorized unless and until the required short subdivision improvements have been completed or a performance assurance has been posted to ensure completion as provided in RZC 21.76.090(F), Performance Assurance. A copy of an approved short subdivision shall be filed for record with the King County Department of Records and Elections, and one reproducible copy shall be furnished to the City Engineer.
- (6) Restriction on Further Division. Land within an approved and recorded short subdivision may not be further subdivided within a period of five years from the date of final approval if such further division would result in more than nine lots within the original short subdivision boundaries. Any division that would result in more than nine lots within the original short subdivision within the five-year period may be accomplished only by following the process for preliminary and final subdivision approval set forth in RZC 21.74.030(E) Preliminary Subdivision Procedures, and 21.74.030(G) Final Plat Procedures, of this chapter.

(E) Preliminary Subdivision Procedures.

- (1) Approval Process. Preliminary subdivisions shall follow the procedures established in RZC 21.76.050(H) for a Type III Review.
- (2) Effect of Preliminary Subdivision Approval. Approval of the preliminary subdivision shall constitute authorization for the applicant to develop the subdivision facilities and improvements upon review and approval of construction drawings by the Public Works Department. All development shall be subject to any conditions imposed by the Hearing Examiner.
- (3) Time Limits – Approval within 90 Days. A preliminary subdivision shall be approved, approved with conditions, denied or returned to the applicant for modification or correction within 90 days from the date of filing of a complete application unless the applicant agrees to an extension of the time period in writing. Provided, that should an environmental impact statement (EIS) be required per RCW 43.21C.030, Guidelines for State Agencies, Local Governments, the 90-day period shall not include the time spent in preparing and circulating the EIS by the City. A preliminary subdivision application shall not be deemed “filed” until all of the requirements for a complete application established by RZC 21.74.030(A), Application Submittal Requirements, of this chapter have been met.

(4) Limitation on Preliminary Approval.

- (a) Final approval of a subdivision must be acquired within seven years of preliminary subdivision approval, after which time the preliminary subdivision approval is void. This subsection shall expire automatically on December 31, 2014. All subdivisions for which a complete preliminary subdivision application was filed prior to such date shall continue to have seven years from preliminary approval to acquire final approval, but any subdivision for which a complete preliminary subdivision application is filed after such date shall be subject to the five-year limitation in section (E)(4)(b) below.
- (b) Final approval of all subdivisions for which a complete preliminary subdivision application is filed after December 31, 2014, must be acquired within five years of preliminary plat approval, after which time the preliminary plat approval is void.
- (c) The Hearing Examiner may grant an extension of the time periods set forth in (a) and (b) above for one year if the applicant has attempted in good faith to submit the final plat within the required time period; provided, however, the applicant must file a written request with the Planning Department requesting the extension at least 30 days before expiration of the required time period.

(F) Modifications to Preliminary Subdivisions.

- (1) Scope. This section establishes the procedures to be used for modifications to approved preliminary plats that have not been recorded.
- (2) Approval Process. Preliminary Plat modifications shall follow the procedures established in RZC 21.76.090(D), Administrative Modification.
- (3) Limitation on Preliminary Approval. Modifications to preliminary plats shall not amend the established time limit for final subdivision approval as provided for in RZC 21.74.030(E), Preliminary Subdivision Procedures, of this chapter.
- (4) Application Requirements. An application for preliminary plat modification shall meet the submittal requirements established by the Administrator, shall set forth the reasons for modification, and shall contain signatures of all parties having an ownership interest in the plat.
- (5) Decision Criteria.
  - (a) Administrative Modifications. The Administrator may approve the application for modification of the preliminary plat that does not create additional lots, tracts, or parcels, or may approve the application with conditions if the Administrator determines that the application is consistent with the findings of the Hearing Examiner. The Administrator shall deny the application for preliminary plat modification if he/she finds that the proposed modification is inconsistent with such findings.

(G) Final Subdivision Procedures.

- (1) Time Limits. A final plat application shall be approved, denied or returned to the applicant for modification or correction within 30 days from the date of filing unless the applicant consents to an extension of such time period.
- (2) Review by City Engineer. The City Engineer or a licensed professional engineer acting on behalf of the City shall review the survey data, layout of lot lines, streets, alleys and other rights-of-way, design of bridges, and utility systems improvements, including storm drainage, water and sanitary sewer.
- (3) Findings by City Engineer. The City Engineer or other professional engineer acting on behalf of the City shall convey his findings to the City Council. The engineer shall assure that:
  - (a) The proposed final plat meets all standards established by state law and this section relating to the final plat's drawings and subdivision improvements;
  - (b) The proposed final plat bears the certificates and statements of approval required by this section;
  - (c) A current title insurance report furnished by the subdivider confirms the title of the land in the proposed subdivision is vested in the name of the owners whose signatures appear on the final plat;

- (d) The legal description of the plat boundary on the current title insurance report agrees with the legal description on the final plat;
  - (e) The facilities and improvements required to be provided by the subdivider have been completed or, alternatively, that the subdivider has provided a surety in an amount commensurate with improvements remaining to be completed, as provided in RZC 21.76.090(F), Performance Assurance; and
  - (f) The surveyor has certified that all survey monument lot corners are in place and visible.
  - (g) The final plat contains a dedication to the public of all common improvements, including but not limited to streets, roads, sewage disposal systems, storm drainage systems and water supply systems which were a condition of approval. The intention to dedicate shall be evidenced by the owner's presentment of a final plat showing the dedication and the acceptance by the City shall be evidenced by the approval of the final plat
- (5) Review - City Council. The City Council shall review the final plat at a public meeting, according to the decision criteria for final plats set forth in RZC 21.74.030(C) Decision Criteria for Approval of Final Subdivisions, of this chapter. No public hearing shall be required. Notice of the public meeting at which the final plat will be considered will be mailed to the applicant and to any person who was a party of record to the preliminary plat proceedings at least ten days in advance of the meeting. If the City Council approves the final plat, the Mayor shall be authorized to inscribe and execute the written approval on the face of the plat map. If the City Council denies the final plat, the final plat will be returned to the applicant with reasons for denial and conditions for compliance.
- (6) Recording. All final plats shall be recorded in compliance with the following:
- (a) Fees and Performance Assurance. Prior to recording, the applicant shall submit the original final plat drawings to the Public Works Department together with the plat checking fees. Unless all required improvements have been constructed prior to final plat approval, the applicant shall also submit all required performance assurances to guarantee completion of the improvements as required by RZC 21.76.090(F), Performance Assurance.
  - (b) Recording Required. No final plat shall be recorded unless approved as provided in this section. The original of an approved final plat shall be filed for record with the King County Department of Records and Elections.
  - (c) Time Limit. All final plats shall be recorded within 120 days after final approval is granted by the City. Approval shall expire if the final plat is not recorded within this period.
- (7) Valid Land Use. As required by RCW 58.17.170, Written Approval of Subdivision, a subdivision shall be governed by the terms of the approval of the final plat, and any lots created shall be a valid land use for a period of not less than five years from date of filing, unless the City Council finds that a change in conditions in the subdivision creates a serious threat to the public health or safety.

(H) Unit Lot Subdivisions.

- (1) Applicability. The provisions of this section apply exclusively to the unit lot subdivision of land for attached dwelling units that have land use approval through RZC 21.76.070(Y), Site Plan Entitlement, RZC ~~24.08.330~~ [21.67](#); Green Building and Green Infrastructure Incentive Program, RZC 21.76.070(P), Master Planned Development; RZC 21.08.350 Innovative Housing Demonstration Projects,
- (2) Approval process. A unit lot subdivision shall follow the procedures established in RZC 21.76.050(G) for a Type II Review if nine or fewer unit lots are proposed. Preliminary unit lot subdivisions shall follow the procedures established in RZC 21.76.050(H) for a Type III Review if ten or more unit lots are proposed. Final unit lot subdivisions of ten or more lots shall follow the procedures established in RZC 21.74.030(G) of this chapter for final plats.
- (3) Compliance with Prior Approvals. Sites developed or proposed to be developed with single-family attached dwelling units may be subdivided into individual unit lots as provided herein. The development as a whole shall conform to the regulations of the zone that the site is located in and to the plans that were granted approval through either Site Plan Entitlement, RZC 21.76.070(Y); Green Building and Green Infrastructure Incentive

Program, RZC ~~21.08.330~~ [21.67](#); Master Planned Development, RZC 21.76.070(P); or Innovative Housing Demonstration Projects, RZC 21.08.350 provisions of this Code.

- (4) Development on individual unit lots is not required to conform with all development standards that typically apply to individual lots as long as the parent lot conforms to all such development standards. Each unit lot shall comply with applicable building codes. Fire protection for the buildings shall be based on the aggregate square footage on the parent lot.
  - (5) Internal vehicular courts and driveways providing vehicular access to unit lots in the subdivision from public streets shall not be considered public or private streets when considering unit lot subdivisions.
  - (6) Subsequent platting actions, additions or modification to the structure(s) may not create or increase any nonconformity of the parent lot.
  - (7) Access easements, joint use and maintenance agreements, and covenants, conditions and restrictions (CC&Rs) identifying the rights and responsibilities of property owners and/or the homeowners association shall be executed for use and maintenance of common garage, parking, and vehicle access areas; underground utilities; common open space (such as common courtyard open space); exterior building facades and roofs; and other similar features, shall be recorded with the King County Department of Records and Elections.
  - (8) Within the parent lot, required parking for a dwelling unit may be provided on a different unit lot than the lot with the dwelling unit, as long as the right to use the parking is formalized by an easement recorded with the King County Department of Records and Elections.
  - (9) The minimum residential density required for unit lot subdivision in the Sammamish Trail and Town Square Districts of Downtown shall be 35 dwelling units per acre. There shall be no minimum residential density requirements for unit lot subdivisions elsewhere in the City unless required by the zone in which the site is located.
  - (10) Notes shall be placed on the face of the plat or short plat as recorded with the King County Department of Records and Elections to acknowledge the following:
    - (a) Approval of the design of the units on each of the lots was granted by the review of the development, as a whole, on the parent lot by Site Plan Entitlement, RZC 21.76.070(Y); Green Building and Green Infrastructure Incentive Program, RZC ~~21.08.330~~ [21.67](#); Master Planned Development, RZC 21.76.070(P); or Innovative Housing Demonstration Projects, RZC 21.08.350 (stating the subject file application number).
    - (b) Development, redevelopment, or rehabilitation of structures on each unit lot is subject to review and approval of plans that are consistent with the design of the surrounding structures on the parent lot as approved by the City through (subject file number as stated in (a) above).
  - (11) The authority provided by this section for approval of unit lot subdivisions shall expire on October 29, 2013. Unit lot subdivisions for which a complete application is or was filed prior to said date shall continue to be processed to completion under this section, including to final subdivision approval, but no applications shall be accepted for unit lot subdivisions after the stated date unless extended by the Redmond City Council.
- (I) Subdivision Vacations.
- (1) Scope. This section establishes the procedures to be used for subdivision vacations under RCW 58.17.212.
  - (2) Approval Process. Subdivision vacations shall follow the procedures established in RZC 21.76.050(J) of the Review Procedures Chapter for a Type V Review.
  - (3) Application Requirements. An application for vacation of all or any portion of a subdivision shall meet the submittal requirements established by the Administrator, shall set forth the reasons for vacation and shall contain signatures of all parties having an ownership interest in that portion to be vacated. If the subdivision is subject to restrictive covenants which are filed at the time of approval of the subdivision, and the vacation would result in the violation of a covenant, the application shall contain an agreement signed by all parties subject to the covenants providing that the parties agree to terminate or alter the relevant covenants to accomplish the purpose of the vacation.

- (4) Hearing Required. The City Council shall conduct a public hearing on the application for a subdivision vacation.
- (5) Decision Criteria. The City Council shall approve the application for vacation of the subdivision or approve the application with conditions if it determines that the public use and interest will be served by the vacation. The City Council shall deny the application for vacation if it finds that the public use and interest will not be served by the vacation.
- (6) If any portion of the land contained in the subdivision was dedicated to the public for public use or benefit, such land, if not deeded to the City, shall be deeded to the City unless the City Council adopts written findings that the public use would not be served in retaining title to those lands. Title to vacated property shall be governed by Chapter 58.17 RCW, Plats – Subdivision – Dedications.

(J) Subdivision Alterations.

- (1) Scope. This section establishes the procedures to be used for subdivision alterations under RCW 58.17.215 - .218.
- (2) Approval Process. Subdivision alterations shall follow the procedures established in RZC 21.76.050(J) of the Review Procedures Chapter for a Type V Review.
- (3) Application Requirements. An application for alteration of a subdivision shall meet the submittal requirements established by the Administrator and shall contain the signatures of the those persons having an ownership interest in the majority of the lots, tracts, parcels, sites, or divisions in the subject subdivision or portion to be altered and other application submittal materials as required. If the subdivision is subject to restrictive covenants which were filed at the time of the approval of the subdivision, and the alteration would result in the violation of a covenant, the application shall contain an agreement signed by all parties subject to the covenants providing that the parties agree to terminate or alter the relevant covenants to accomplish the purpose of the alteration.
- (4) Hearing Required. The City Council shall conduct a public hearing on the application for a subdivision alteration.
- (5) Decision Criteria. The City Council shall approve the application for alteration of the subdivision or approve the application with conditions if it determines that the public use and interest will be served by the alteration. The City Council shall deny the application for alteration if it finds that the public use and interest will not be served by the alteration.
- (6) After approval of the alteration, the applicant shall submit to the City a revised drawing of the approved alteration of the subdivision, which after signature of the approving authority shall be filed with the King County Department of Records and Elections to become the lawful plat of the property. The revised drawing shall be surveyed and prepared by a Washington State licensed land surveyor.
- (7) The procedures set forth in sections (J)(1), (2), and (3) above apply to subdivisions that have been recorded. A subdivision that has not yet been recorded and that has not expired may be altered upon approval by the Administrator as long as the alteration is consistent with the final plat approval granted by the City Council. In the event that the alteration is not consistent with that approval, alteration may be approved only by repeating the final plat approval process.

(K) Final Subdivision and Short Subdivision Corrections.

- (1) Public Dedication – Not Involved. Amendments, alterations, modifications, and changes to recorded final subdivisions and short subdivisions that do not affect a public easement or other public dedication of land shall be accomplished only by one of the following methods:
  - (a) File a new plat for the lots in question by following the full subdivision procedures of this chapter; or
  - (b) File a short plat for lots in question by following the procedures of this chapter;
  - (c) File an application for an Administrative Modification or boundary line adjustment
- (2) Public Dedication – Involved. Amendments, alterations, modifications and changes to recorded final plats and short plats that do affect a public easement or other public dedication of land shall be accomplished by following

the procedures of RZC 21.74.030(I), Subdivision Vacation, or 21.74.030(J), Subdivision Alterations of this chapter.

(L) Binding Site Plans.

- (1) Scope. This section establishes the procedures to be used for the division of land using the binding site plan process pursuant to RCW 58.17.035. Division of land using the binding site plan process is limited to:
  - (a) Divisions for the sale or lease of commercial or industrial zoned property;
  - (b) Divisions for the purpose of lease when no residential structures other than mobile homes or travel trailers are permitted to be placed on the land; and
  - (c) Divisions of land into lots or tracts made under the provisions of the Horizontal Properties Regimes Act (Chapter 64.32 RCW) or the Condominium Act (Chapter 64.34 RCW).
- (2) Approval Process. Binding site plans shall follow the procedures established in RZC 21.76.050(G) for a Type II Review.
- (3) Drawing Requirements. Binding site plans shall be drawn at a scale no smaller than one inch equals 50 feet, unless a different scale is approved by the Administrator, and shall include:
  - (a) The design of any lots and building envelopes and the areas designated for landscaping and vehicle use;
  - (b) The areas and locations of all streets, roads, improvements, utilities, easements, open spaces, critical areas, and any other matters specified by the development regulations;
  - (c) Inscriptions or attachments setting forth such appropriate limitations and conditions for the use of the land as are established by the City of Redmond; and
  - (d) Provisions requiring that any development shall comply with the approved site plan.
- (4) Post-approval Requirements. The following requirements shall apply to proposals submitted under this section:
  - (a) Approved binding site plans shall be submitted for recording with the King County Department of Records and Elections;
  - (b) All provisions, conditions and requirements of the binding site plan shall be legally enforceable on the purchaser or any person acquiring a lease or other ownership interest of any lot, parcel or tract created pursuant to the binding site plan. A sale, transfer, or lease of any lot, tract or parcel that does not conform to the requirements of the binding site plan approval, shall be considered a violation of this chapter.
  - (c) All development shall be in conformity with the approved binding site plan and any existing or subsequent applicable permit approval. Each binding site plan document shall reference the requirement for compliance with any existing or subsequent permit approval.
  - (d) Amendments to an approved binding site plan shall follow the process established in RZC 21.76.090(D), Administrative Modification. Vacations of an approved binding site plan shall be made through the subdivision vacation process; and
  - (e) Approved binding site plans may contain any easements, restrictions, covenants, or conditions as would a subdivision approved by the City.

(M) Boundary Line Adjustments.

- (1) Scope. This section sets for the approval of boundary line adjustments, as defined in RCW 58.17.040(6). Division of land using the binding site plan process is exempt from complying with subdivision regulations.
- (2) Approval Process. Boundary Line Adjustments shall follow the procedures established in RZC 21.76.050(F) for a Type I Review.

- (3) Decision Criteria. The Administrator may approve an application for a boundary line adjustment provided the following criteria are met:
- (a) The boundary line adjustment shall not result in the creation of any additional lot, tract, parcel, site, or division.
  - (b) The property being transferred within the boundary line adjustment shall be combined with the benefiting parcel and shall not be a separate parcel, which could be mistaken as a separate and distinct, conveyable tract without proper research;
  - (c) The lots, tracts, or parcels resulting after the boundary line adjustment shall meet all dimensional requirements specified for the applicable zone as outlined in RZC Article I – Zone Based Regulations;
  - (d) All lots modified by the boundary line adjustment procedures shall have legal access meeting the standards of the City of Redmond;
  - (e) The boundary line adjustment shall not violate an applicable requirement or condition of a previous land use action, subdivision, short plat or binding site plan;
  - (f) All boundary line adjustments shall be recorded surveys consistent with the requirements of Chapter 58.09 RCW and Chapter 332-130 WAC. All lot lines being adjusted shall be surveyed, and newly established lot corners shall be staked.
- (4) Improvements. Boundary line adjustments shall not be conditioned upon the construction of improvements required for subdivisions or other land divisions under this chapter unless the need for such improvements is directly created or exacerbated by the boundary line adjustment itself.
- (5) Recording. All boundary line adjustments shall be recorded in compliance with the following:
- (a) Fees and Recording Procedure. Prior to recording, the applicant shall submit the original boundary line adjustment drawings for approval and signatures by the Planning Director and the City Engineer.
  - (b) Recording Required. No boundary line adjustment shall be recorded unless approved as provided in this chapter. A copy of an approved boundary line adjustment shall be filed for record with the King County Department of Records and Elections, and one reproducible copy shall be furnished to the City Engineer.